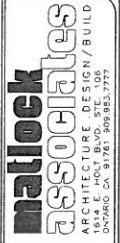


PROPOSED MASTER PLAN - ALTERNATIVE

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

(CDP 04-11 / CUP 04-21 / SDP 04-31)



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRW/CHK'D	SL/AM
DATE	ISSUE
<input checked="" type="checkbox"/> MAY 30 13	CUP Submittal
<input checked="" type="checkbox"/> DEC 03 13	CUP Submittal
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

SHT. TITLE
**C. U. P.
 COVER SHEET**

SHEET NO.
A0.0

ABBREVIATIONS

Table with 2 columns: Abbreviation and Description. Includes items like ANCHOR BOLT, ASPHALT CONCRETE, ACUSTICAL, etc.

SYMBOLS

Table with 2 columns: Symbol and Description. Includes symbols for ROOM NAME, ROOM NUMBER, ELEVATION CALL-OUT, etc.

GENERAL NOTES

- 1. SUBMITTAL FOR GRADING PLAN...
2. PRIOR TO THE ISSUANCE OF ANY GRADING OR GRADING PERMIT...
3. AT SUBMITTAL FOR PLAN CHECK TO THE BUILDING DIVISION...
4. ALL DOCUMENTS PREPARED BY A PROFESSIONAL...
5. MINIMUM ROOFING CLASSIFICATION IS "A"...

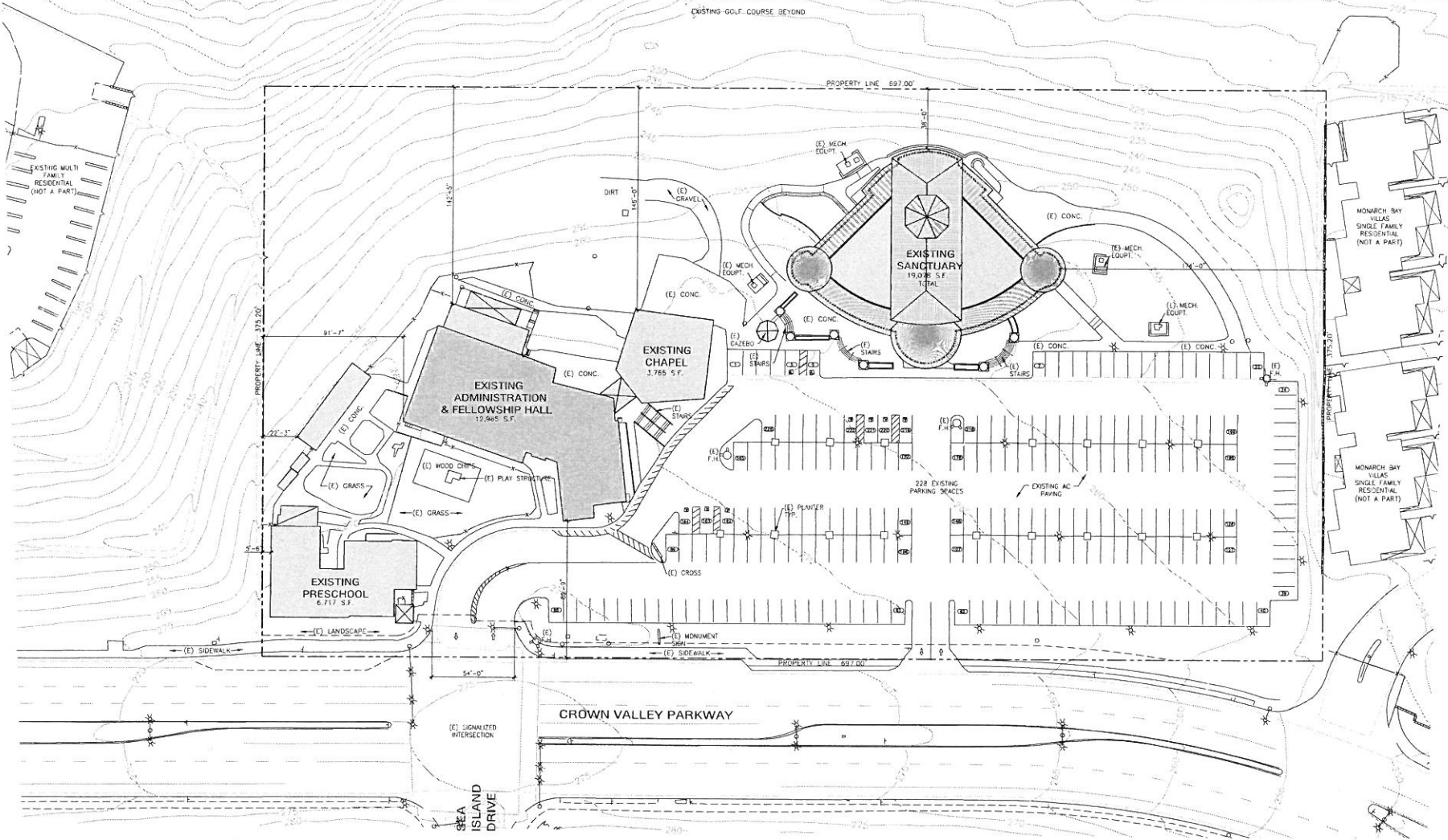
CONSULTANTS

OWNER: SOUTH SHORES CHURCH
CONSULTANTS: ARCHITECT, LANDSCAPE, SOILS ENGINEER, PARKING @ TOTAL BUILDOUT, LEGAL DESCRIPTION

INDEX OF SHEETS

Table with 2 columns: Sheet Number and Description. Includes ARCHITECTURAL, LANDSCAPE, CIVIL, PROJECT DATA, VICINITY MAP, and SHEET INDEX.

Vertical sidebar containing logos for Mallock Associates, South Shores Church, and project information like JOB NO. 21235 and SHEET NO. A1.0.



LEGEND

---	CENTERLINE	□	LANDSCAPED AREA
- - -	BUILDING SETBACK	▨	BUILDING
---	PROPERTY LINE		
~ ~ ~	TOPOGRAPHIC CONTOUR LINE		

PARKING COUNT
 228 TOTAL ON SITE PARKING SPACES

BUILDING AREA

EXISTING CHAPEL TOTAL: 3,765 sf. (BLDG. COVERAGE: 3,551 sf.)	EXISTING ADMIN / FELLOWSHIP HALL TOTAL: 12,985 sf. (BLDG. COVERAGE: 10,350 sf.)
EXISTING SANCTUARY TOTAL: 19,078 sf. (BLDG. COVERAGE: 13,772 sf.)	EXISTING PRESCHOOL TOTAL: 6,717 sf. (BLDG. COVERAGE: 6,123 sf.)

TOTAL EXISTING BLDG. COVERAGE OF SITE AREA: 33,569 sq.ft. (13%)

mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1014 E. HOLY BLVD., STE. 105
 DANA POINT, CA 92629 949.352.3777



ARCH/ENG STAMP

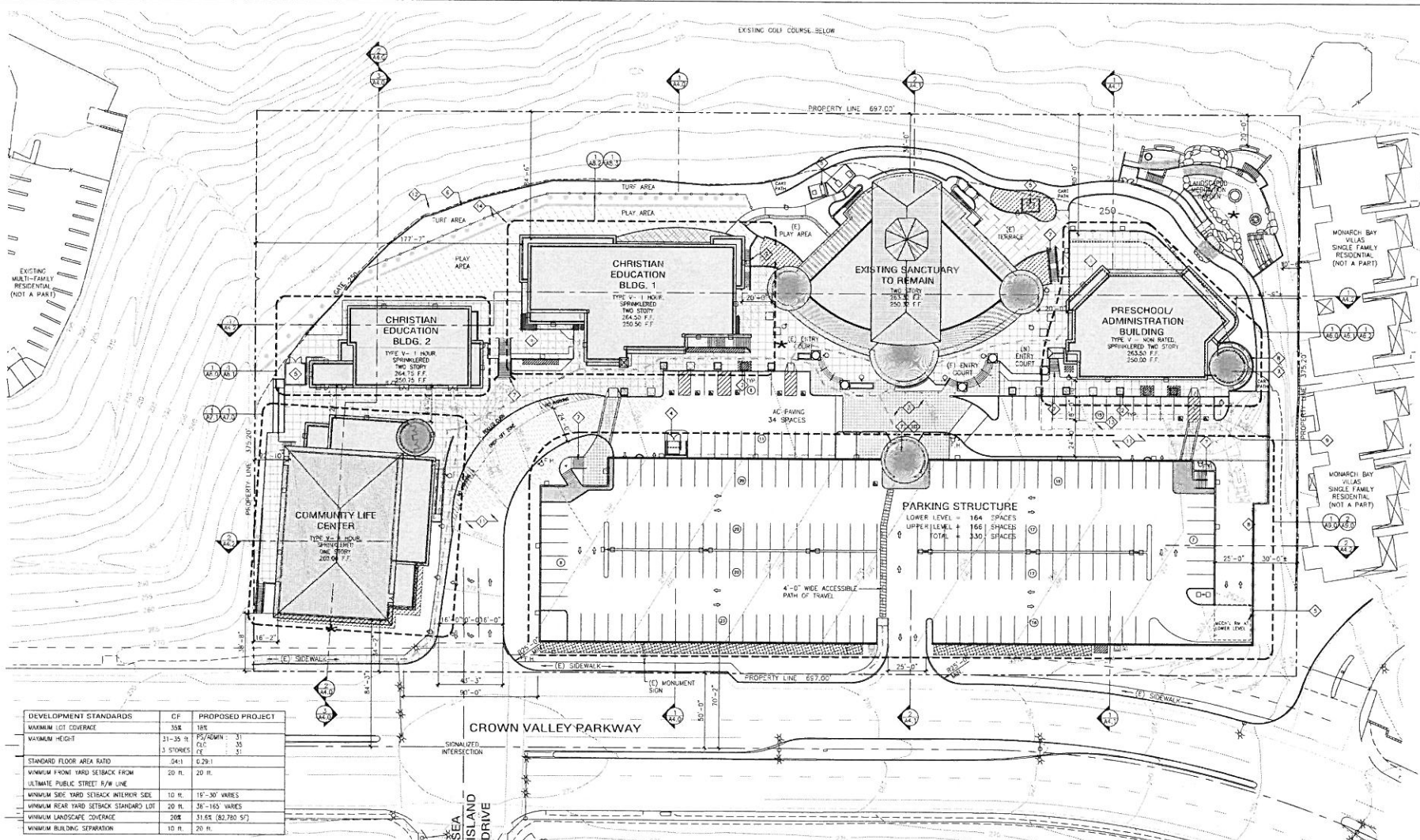
ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRM/CHK'D	SL/AM
DATE	ISSUE
▲ MAY 20 13	DIP Submittal
▲ DEC 03 13	DIP Submittal

SHT. TITLE
EXISTING SITE PLAN

SHEET NO.
A2.0

EXISTING SITE PLAN 1"=20'-0" 1



DEVELOPMENT STANDARDS	CF	PROPOSED PROJECT
MINIMUM LOT COVERAGE	35%	18%
MINIMUM HEIGHT	21-35 ft	PS/ADMIN: 31 CIC: 38 3 STORES: 31
STANDARD FLOOR AREA RATIO	0.41	0.29:1
MINIMUM FRONT YARD SETBACK FROM ULTIMATE PUBLIC STREET R/W LINE	20 ft.	20 ft.
MINIMUM SIDE YARD SETBACK INTERIOR SEE	10 ft.	15'-30' VARIES
MINIMUM REAR YARD SETBACK STANDARD LOT	20 ft.	38'-185' VARIES
MINIMUM LANDSCAPE COVERAGE	20%	31.6% (82,780 SF)
MINIMUM BUILDING SEPARATION	10 ft.	20 ft.

- KEY NOTES**
- ◆ NEW HARDSCAPE
 - ◆ NEW TREE WELL
 - ◆ NEW ENHANCED PAVING
 - ◆ NEW CMU TRASH ENCLOSURE WITH WOOD TRELLIS
 - ◆ NEW MECHANICAL EQUIPMENT ENCLOSURE
 - ◆ NEW 4" HIGH TEMPERED GLASS FENCE ON TOP OF 2" HIGH CMU WALL
 - ◆ NEW STAIRS
 - ◆ NEW HANDICAP RAMP
 - ◆ DOCA HAMMER-HEAD
 - ◆ NEW ELEVATOR
 - ◆ AC PAVING
 - ◆ HILLSIDE VEGETATION BEYOND FENCE LINE
 - ◆ UNDERGROUND DETENTION BASIN, CONSTRUCTED PHASE 1A
 - ◆ CASINGS, REACTION WALL & TIE SHAKES BELOW GRADE
 - ◆ LANDSCAPED AREA
 - ◆ HARDSCAPE
 - ◆ BUILDING
 - ◆ CENTERLINE
 - ◆ BUILDING SETBACK
 - ◆ PROPERTY LINE
 - ◆ ACCESSIBLE PATH OF TRAVEL
 - ◆ PRESCHOOL FENCING
 - ◆ RIGHT OF WAY
 - ◆ TOPOGRAPHIC CONTOUR LINE
 - ◆ POLE MOUNTED AREA LIGHT
 - ◆ PEDESTRIAN AREA LIGHT
 - ◆ WALL MOUNTED AREA LIGHTS, SEE SHEET A15.0 LIGHTING PLAN FOR MORE INFORMATION
 - ◆ PROPOSED LOCATION OF PUBLIC ART
 - ◆ BORSTENTION WITH UNDERMINING (BO-1) DOWNSPOUT PLANTER BOXES - BMP-1
 - ◆ VEGETATED SWALE (BO-2) BORWALE / DEPRESSED LANDSCAPE - BMP-2
 - ◆ PROPRIETARY BIO-FILTRATION (BI-7) FILTERRIA SYSTEM - BMP-3
 - ◆ STORM DRAIN

- LEGEND**
- CENTERLINE
 - BUILDING SETBACK
 - PROPERTY LINE
 - ACCESSIBLE PATH OF TRAVEL
 - PRESCHOOL FENCING
 - RIGHT OF WAY
 - TOPOGRAPHIC CONTOUR LINE
 - LANDSCAPED AREA
 - HARDSCAPE
 - BUILDING
 - POLE MOUNTED AREA LIGHT
 - PEDESTRIAN AREA LIGHT
 - WALL MOUNTED AREA LIGHTS, SEE SHEET A15.0 LIGHTING PLAN FOR MORE INFORMATION
 - ★ PROPOSED LOCATION OF PUBLIC ART
 - ◆ BORSTENTION WITH UNDERMINING (BO-1) DOWNSPOUT PLANTER BOXES - BMP-1
 - ◆ VEGETATED SWALE (BO-2) BORWALE / DEPRESSED LANDSCAPE - BMP-2
 - ◆ PROPRIETARY BIO-FILTRATION (BI-7) FILTERRIA SYSTEM - BMP-3
 - ◆ STORM DRAIN

- BMP'S**
- REFER TO CIVIL ENGINEER'S SWPPP FOR DETAILS OF PROPOSED BMP'S
- ◆ BORSTENTION WITH UNDERMINING (BO-1) DOWNSPOUT PLANTER BOXES - BMP-1
 - ◆ VEGETATED SWALE (BO-2) BORWALE / DEPRESSED LANDSCAPE - BMP-2
 - ◆ PROPRIETARY BIO-FILTRATION (BI-7) FILTERRIA SYSTEM - BMP-3
 - ◆ STORM DRAIN

PARKING COUNT

34 ON GRADE PARKING
164 LOWER LEVEL PARKING STRUCTURE
166 UPPER LEVEL PARKING STRUCTURE
364 TOTAL SPACES

BUILDING AREA

BUILDING	LOWER LEVEL	UPPER LEVEL	TOTAL	BLDG COVERAGE
PRESCHOOL/ADMINISTRATION	7,841 sf.	6,025 sf.	13,867 sf.	7,841 sf.
CHRISTIAN EDUCATION BLDG 2	4,963 sf.	4,823 sf.	9,786 sf.	4,963 sf.
TOTAL	12,804 sf.	10,848 sf.	23,652 sf.	12,804 sf.

BUILDING AREA

BUILDING	LOWER LEVEL	UPPER LEVEL	TOTAL	BLDG COVERAGE
COMMUNITY LIFE CENTER	11,738 sf.	9,328 sf.	21,066 sf.	11,738 sf.
CHRISTIAN EDUCATION BLDG 1	9,747 sf.	5,511 sf.	15,258 sf.	9,747 sf.
EXISTING SANCTUARY	9,140 sf.	9,938 sf.	19,078 sf.	9,140 sf.
TOTAL	30,625 sf.	24,777 sf.	55,402 sf.	30,625 sf.

PROPOSED BLDG COVERAGE OF SITE AREA: 46,977 sq.ft. (16%)

PROPOSED MASTER SITE PLAN 1"=30'

mallock ASSOCIATES
ARCHITECTURE DESIGN/BUILD
3014 E. HOLY BAY BLVD. STE. 108
DANA POINT, CA 92629 (949) 250-3772



ARCH/ENG STAMP

ALTERNATIVE
Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

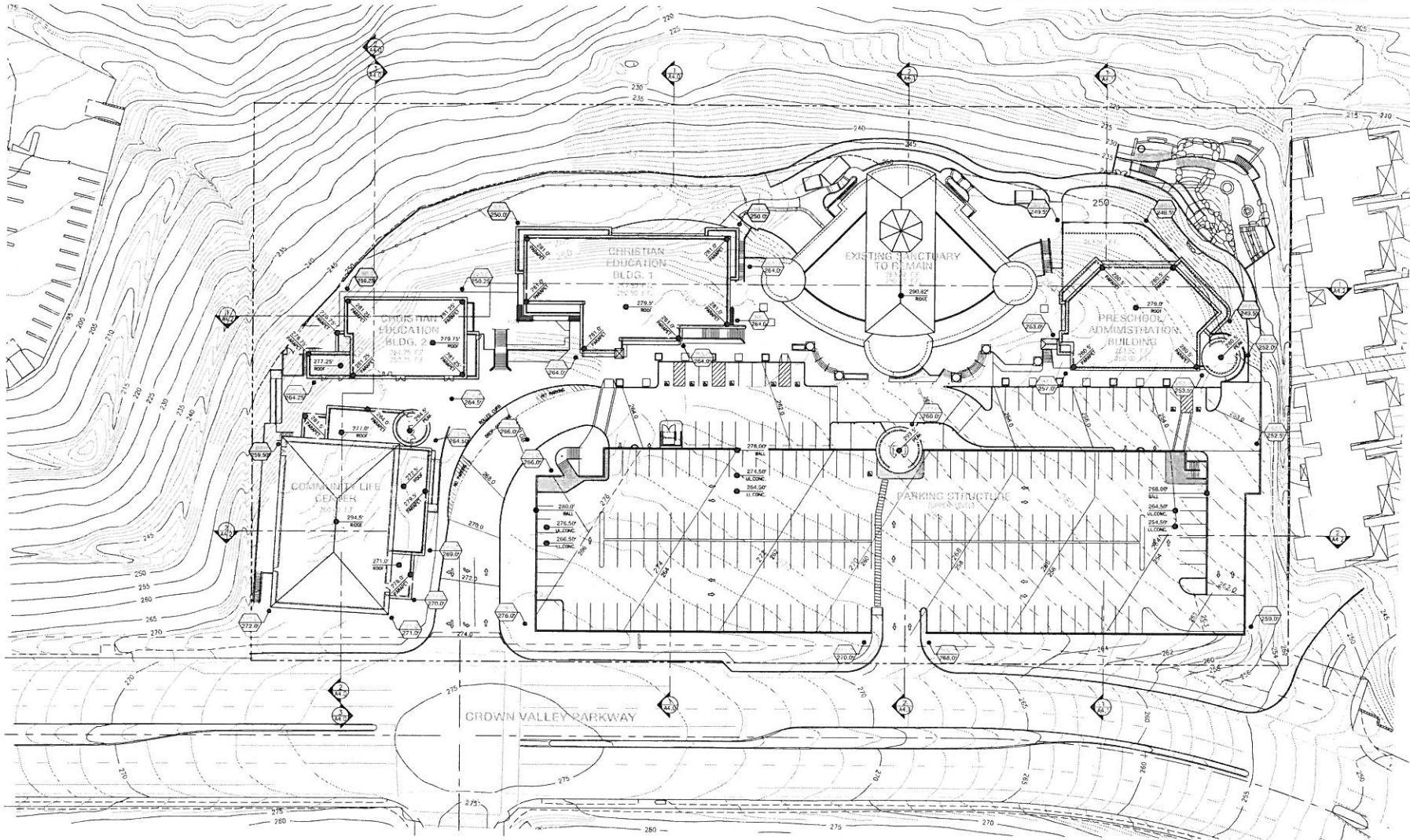
JOB NO. 212.55
DRWN/CHK'D SL/AM

DATE	ISSUE
▲ MAY 20 13	DUP Submittal
▲ DEC 03 13	DUP Submittal

SHT. TITLE
PROPOSED MASTER SITE PLAN

SHEET NO.

A3.0



LEGEND

- PROPERTY LINE
- TOPOGRAPHIC CONTOUR LINE
- - - - - PRESCHOOL FENCING
- ▽ (EXISTING)
- ▽ (NEW)
- (INDICATES LOWEST GRADE FROM WHICH BLDG. HT. DETERMINED)
- BLDG. ELEVATION LOCATOR



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRM/CHK'D
SL/AM

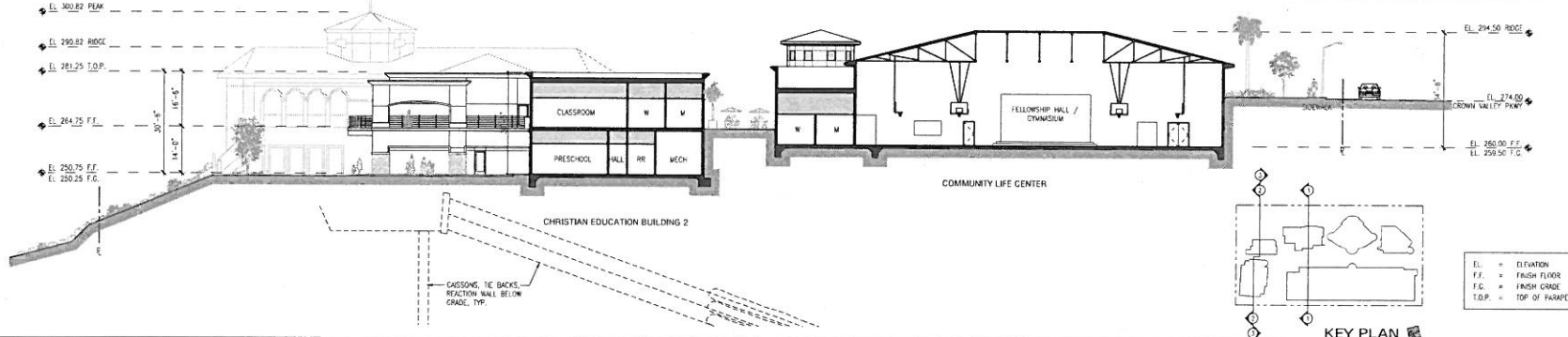
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 MAY 20 12 CUP Submittal
 DEC 03 13 CUP Submittal

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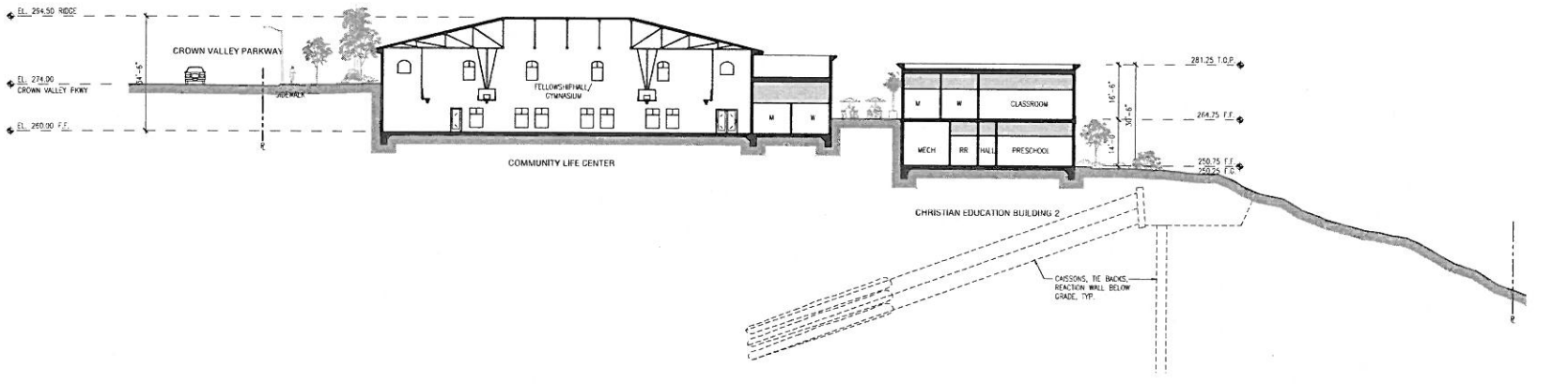
BLDG. HT. LIMITS
ALTERNATIVE
SITE PLAN

SHEET NO.

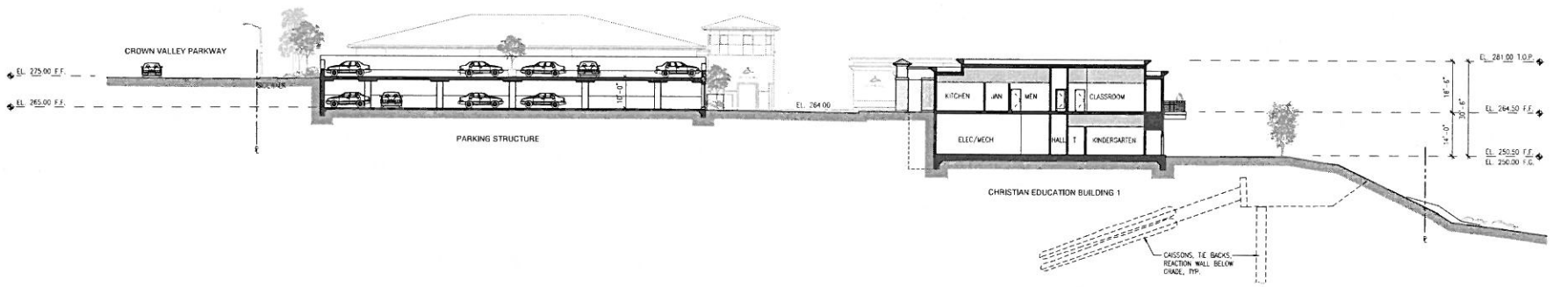
A3.1



Site Section thru Community Life Center & Christian Education Bldg. 2 1/16"=1'-0" 3



Site Section thru Community Life Center & Christian Education Bldg. 2 1/16"=1'-0" 2



Site Section thru Parking Structure & Christian Education Building 1 1/16"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church_C.U.P\Architectural\AutoCad\C.U.P - DESIGN\CUP Submittal 3 - ALTERNATE

Mallock ASSOCIATES
ARCHITECTURE DESIGN/BUILD
3015 GOLF BELLEVUE DRIVE, SUITE 200
DANA POINT, CA 92629 TEL: 949.395.7777 FAX: 949.395.7772



ARCH/ENG STAMP

ALTERNATIVE
Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO. 21235

DRW/CHK'D SL/AM

DATE	ISSUE
MAY 20 13	CUP Submittal
DEC 03 13	CUP Submittal

SHT. TITLE
SITE SECTIONS

SHEET NO.

A4.0



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRM/ARCHD
SL/AM

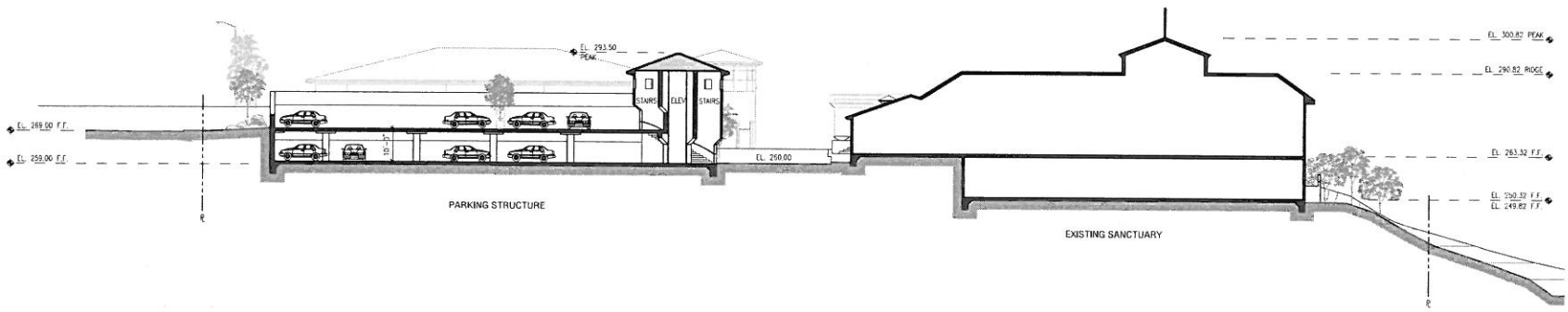
DATE	ISSUE
MAY 20 13	DP Submittal
DEC 03 13	DP Submittal

SHT. TITLE

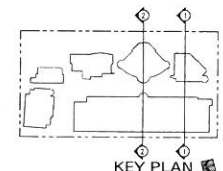
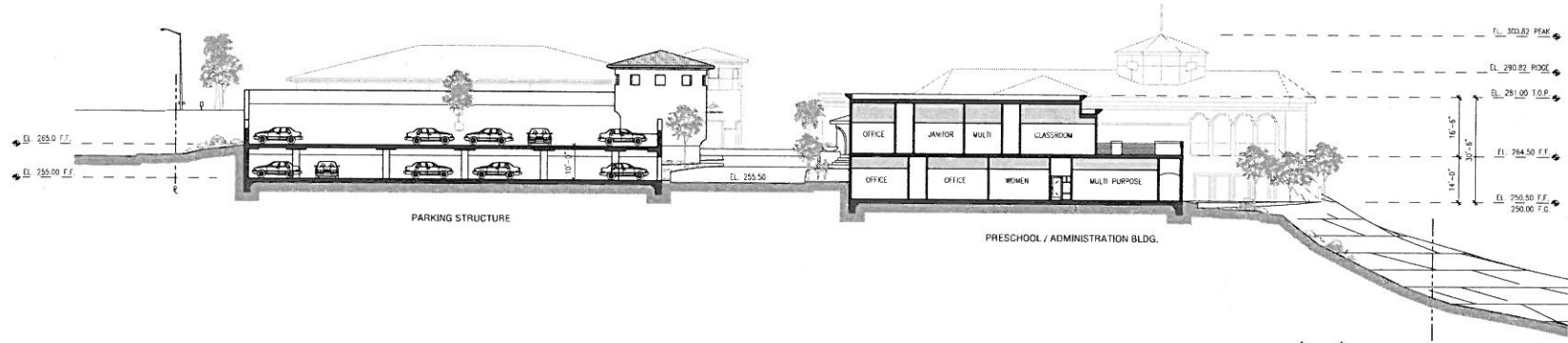
SITE SECTIONS

SHEET NO.

A4.1

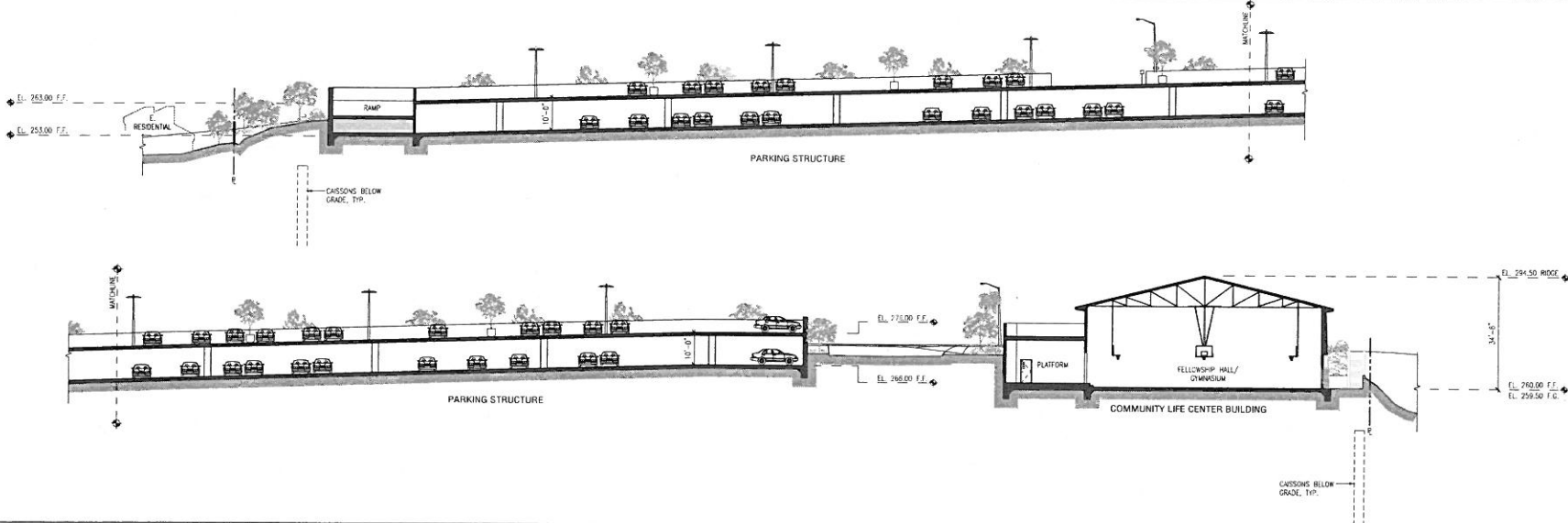


Site Section thru Parking Structure & Existing Sanctuary 1/16"=1'-0" 2

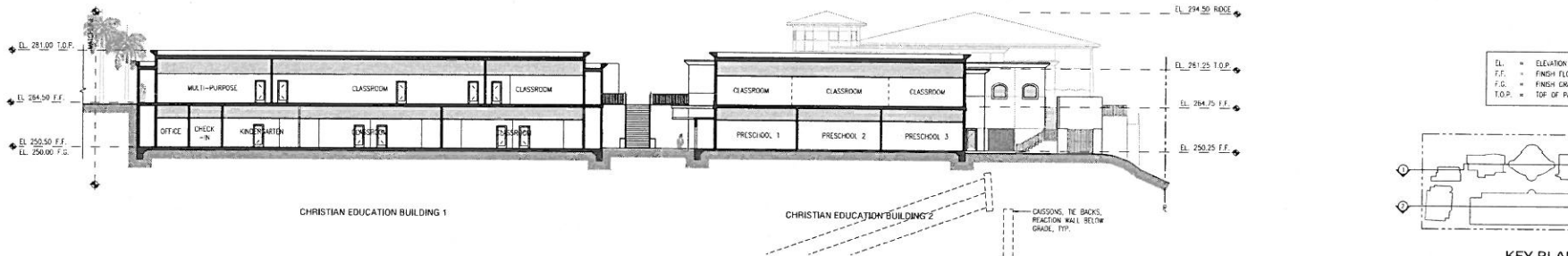
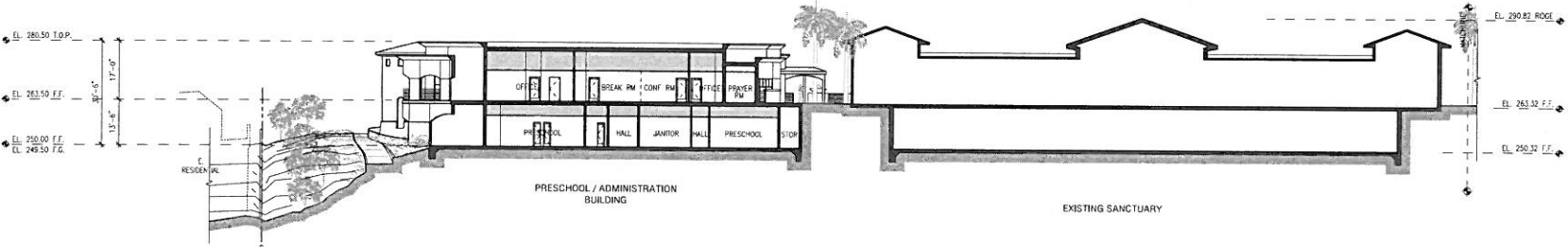


EL. = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET

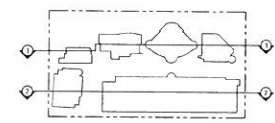
Site Section thru Parking Structure & Preschool / Administration Bldg. 1/16"=1'-0" 1



Site Section thru Community Life Center & Parking Structure 1/16"=1'-0" 2



- EL. = ELEVATION
- F.F. = FINISH FLOOR
- F.G. = FINISH GRADE
- T.O.P. = TOP OF FINISH



Site Section thru Preschool / Administration Bldg., Existing Sanctuary & Christian Education Bldgs. 1/16"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church_C.U.P\Architectural\AutoCad\C.U.P. - DESIGN\C.U.P. Submittal 3 - ALTERNATE

mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1834 L. HOLT BLVD., STE. 108
 DANA POINT, CA 92629 949.953.7979



ARCH/ENG STAMP

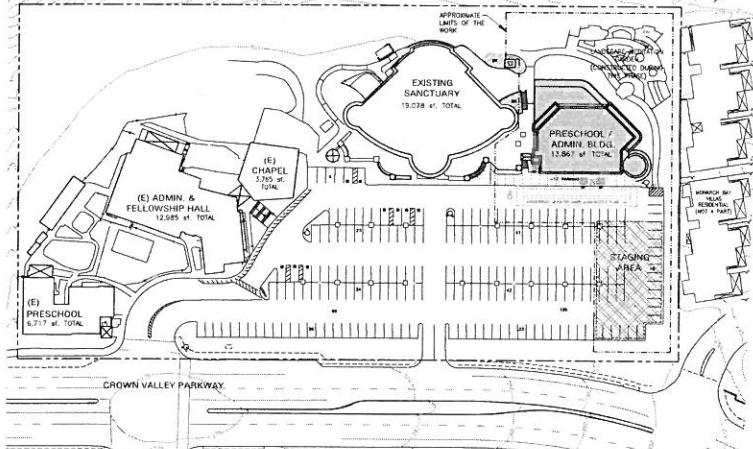
ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRM/CHCD	SL/AM
DATE	ISSUE
▲ MAY 29 13	DP Submittal
▲ DEC 03 13	DP Submittal
▲	
▲	
▲	
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▲	

SHT. TITLE
 SITE SECTIONS
 SHEET NO.

A4.2

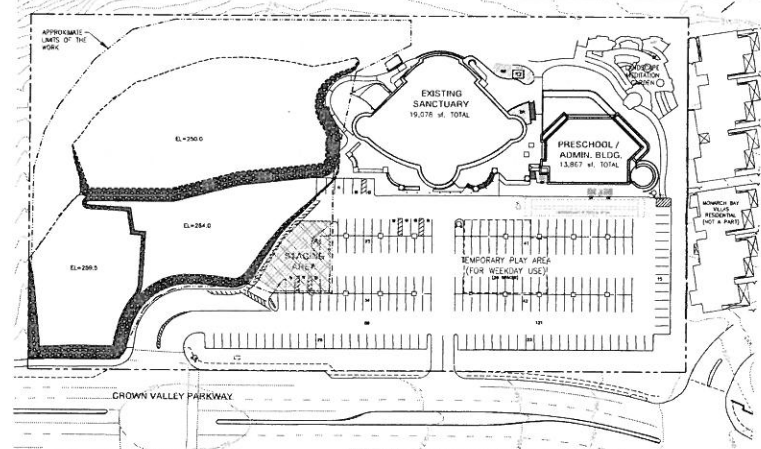
GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SHIELD
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SHEET A5.0 AND DRAWING BY ADAMS-STREETER, CIVIL ENGINEERS.



- CONSTRUCT PRESCHOOL / ADMINISTRATION BUILDING
- EXISTING PARKING SPACES: 228
- SPACES TAKEN FOR STAGING AREA: 34
- SPACES TAKEN FOR NEW CONST.: 33
- PARKING SPACES AVAILABLE: 161
- PARKING SPACES AVAILABLE AT COMPLETION: 210
- TOTAL BUILDING AREA: 13,967 sq. ft.
- PROJECTED START: MAY 2015
- FRESHLOC LOCATION IS INTERIM UNTIL PHASE 2 IS CONSTRUCTED.

Construct New Preschool / Administration Bldg. - Phase 1A 1'-60"=1' CROSS-REFERENCE ADAMS STREETER C2.0

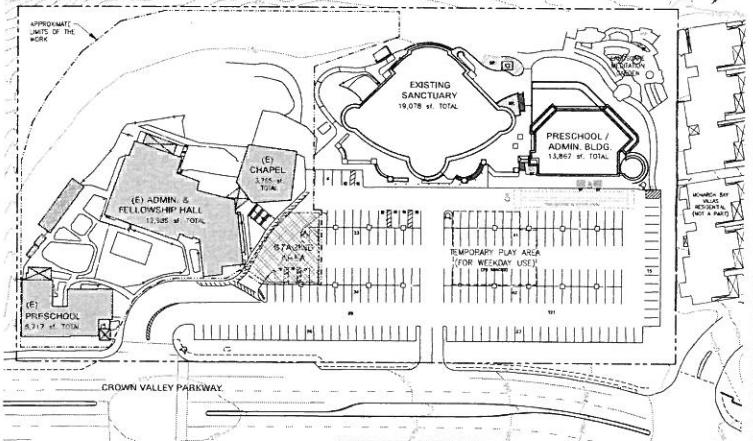
GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SHIELD
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SHEET A5.0 AND DRAWING BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



- EXCAVATE NORTH END OF SITE & PREPARE ROUGH GRADE PAD ELEVATIONS
- EXISTING PARKING SPACES: 210
- SPACES TAKEN FOR STAGING AREA: 7
- SPACES TAKEN FOR NEW CONST.: 3
- PARKING SPACES AVAILABLE: 200
- PARKING SPACES AVAILABLE AT COMPLETION: 210
- TOTAL BUILDING AREA: 32,945 sq. ft.
- PROJECTED START: SEPT 2016

Earthwork North End of Site - PHASE 1B.E1 1'-60"=1' CROSS-REFERENCE ADAMS STREETER C2.1

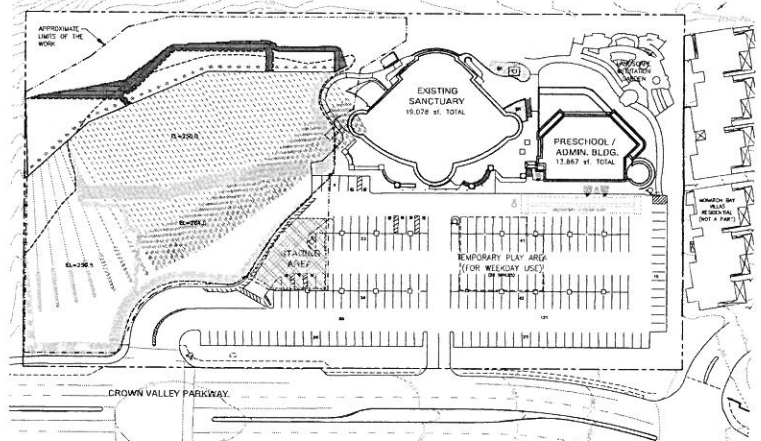
GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SHIELD
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SHEET A5.0 AND DRAWING BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



- DEMOLISH EXISTING BUILDINGS ON NORTH END
- EXISTING PARKING SPACES: 210
- SPACES TAKEN FOR STAGING AREA: 7
- SPACES TAKEN FOR NEW CONST.: 1
- PARKING SPACES AVAILABLE: 202
- PARKING SPACES AVAILABLE AT COMPLETION: 210
- TOTAL BUILDING AREA: 56,412 sq. ft.
- PROJECTED START: JUNE 2016
- ADMINISTRATION MOVES TO UPPER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.
- PRESCHOOL MOVES TO LOWER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.

Demolition of Existing Buildings - Phase 1B 1'-60"=1' CROSS-REFERENCE ADAMS STREETER C2.2

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SHIELD
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SHEET A5.0 AND DRAWING BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



- EXCAVATE SOUTH HALF OF NORTH-EAST CORNER TO A DEPTH OF 40' AND STOCKPILE EXCAVATED EARTH ON SITE
- EXISTING PARKING SPACES: 210
- SPACES TAKEN FOR STAGING AREA: 7
- SPACES TAKEN FOR NEW CONST.: 3
- PARKING SPACES AVAILABLE: 200
- PARKING SPACES AVAILABLE AT COMPLETION: 210
- TOTAL BUILDING AREA: 32,945 sq. ft.
- PROJECTED START: DECEMBER 2016

Remedial Earthwork North End of Site - PHASE 1B.E2 1'-60"=1' CROSS-REFERENCE ADAMS STREETER C2.2

mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 165 S. E. HOLLYWOOD, STE. 106
 OLYMPIA, WA 98512
 PH: 360.885.7777



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRAWN/CHK'D	SL/AM
DATE	ISSUE
MAY 20 15	DUP Submit
DEC 03 15	DUP Submit

SHT. TITLE

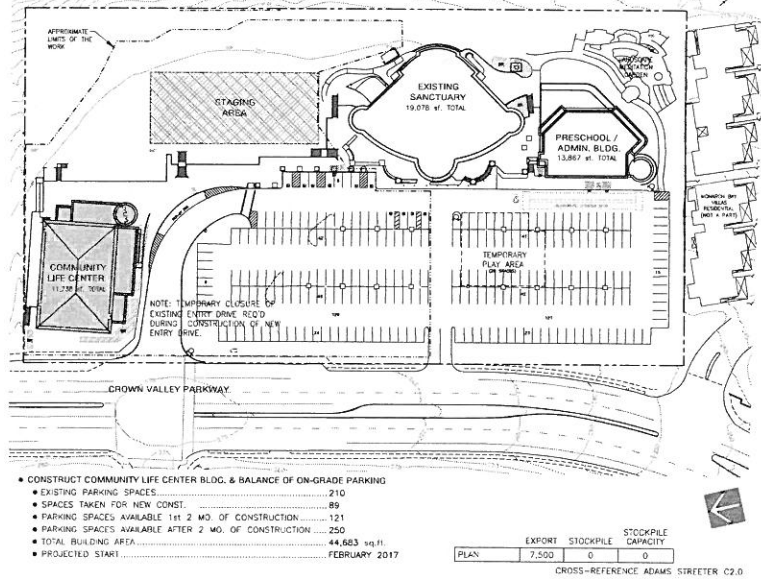
PHASE DIAGRAMS

SHEET NO.

A5.0

GENERAL NOTES:

- ADJUSTMENTS IN THE FENCING WILL BE MADE AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREA OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BMP'S:
BR : BIO-RETENTION AREA
BS : BIO-SWALE
BF : BIO-FILTRATION
SD : STORM DRAIN
FOR MORE DETAIL REGARDING BMP'S REFER TO SHI ASD AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.
- TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



CONSTRUCT COMMUNITY LIFE CENTER BLDG. & BALANCE OF ON-GRADE PARKING

- EXISTING PARKING SPACES 210
- SPACES TAKEN FOR NEW CONST. 89
- PARKING SPACES AVAILABLE 1st 2 MO. OF CONSTRUCTION 121
- PARKING SPACES AVAILABLE AFTER 2 MO. OF CONSTRUCTION 250
- TOTAL BUILDING AREA 44,683 sq.ft.
- PROJECTED START FEBRUARY 2017

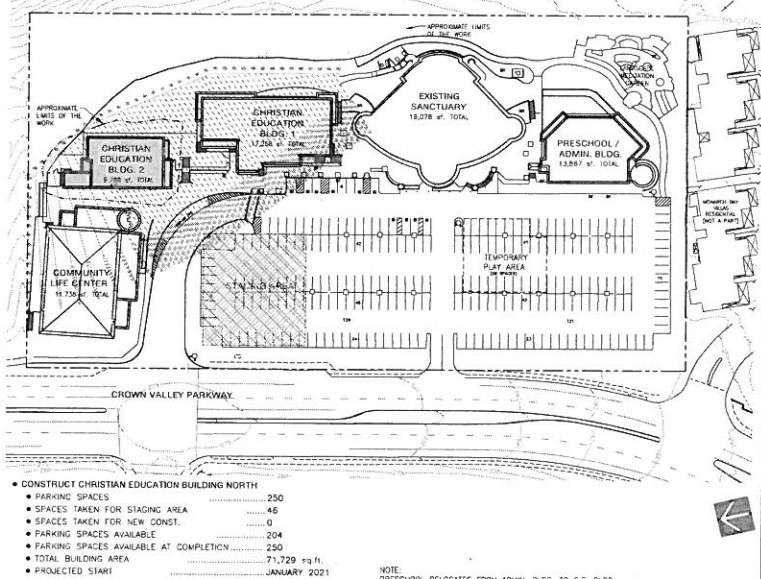
	EXPORT	STOCKPILE	STOCKPILE CAPACITY
PLAN	7,500	0	0

CROSS-REFERENCE ADAMS, STREETER C2.0

Earthwork / Construct New Community Life Center Bldg. PHASE 1C 1'-60"=0' 1

GENERAL NOTES:

- ADJUSTMENTS IN THE FENCING WILL BE MADE AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREA OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BMP'S:
BR : BIO-RETENTION AREA
BS : BIO-SWALE
BF : BIO-FILTRATION
SD : STORM DRAIN
FOR MORE DETAIL REGARDING BMP'S REFER TO SHI ASD AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.
- TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



CONSTRUCT CHRISTIAN EDUCATION BUILDING NORTH

- PARKING SPACES 250
- SPACES TAKEN FOR STAGING AREA 46
- SPACES TAKEN FOR NEW CONST. 0
- PARKING SPACES AVAILABLE 204
- PARKING SPACES AVAILABLE AT COMPLETION 250
- TOTAL BUILDING AREA 71,729 sq.ft.
- PROJECTED START JANUARY 2021

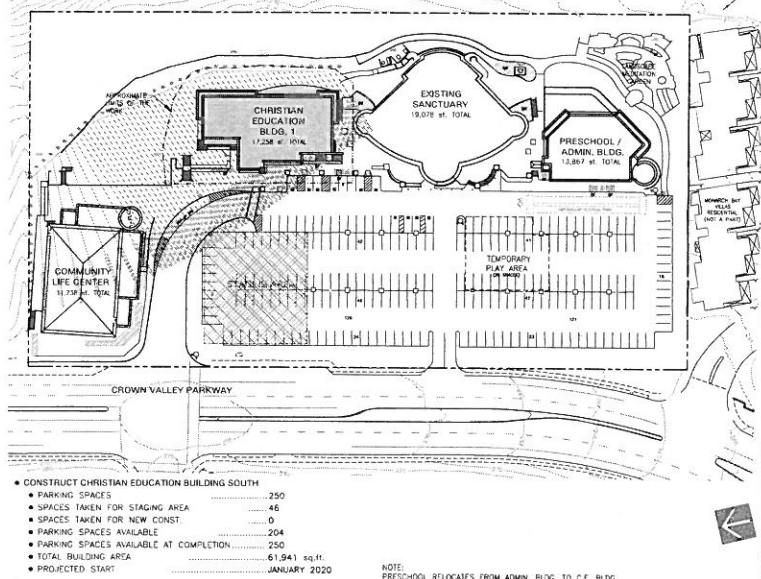
	EXPORT	STOCKPILE	STOCKPILE CAPACITY
PLAN	7,500	0	0

CROSS-REFERENCE ADAMS, STREETER C2.0

Construct New Christian Education Bldg. - Phase 3 1'-60"=0' 3

GENERAL NOTES:

- ADJUSTMENTS IN THE FENCING WILL BE MADE AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREA OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BMP'S:
BR : BIO-RETENTION AREA
BS : BIO-SWALE
BF : BIO-FILTRATION
SD : STORM DRAIN
FOR MORE DETAIL REGARDING BMP'S REFER TO SHI ASD AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.
- TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



CONSTRUCT CHRISTIAN EDUCATION BUILDING SOUTH

- PARKING SPACES 250
- SPACES TAKEN FOR STAGING AREA 46
- SPACES TAKEN FOR NEW CONST. 0
- PARKING SPACES AVAILABLE 204
- PARKING SPACES AVAILABLE AT COMPLETION 250
- TOTAL BUILDING AREA 61,941 sq.ft.
- PROJECTED START JANUARY 2020

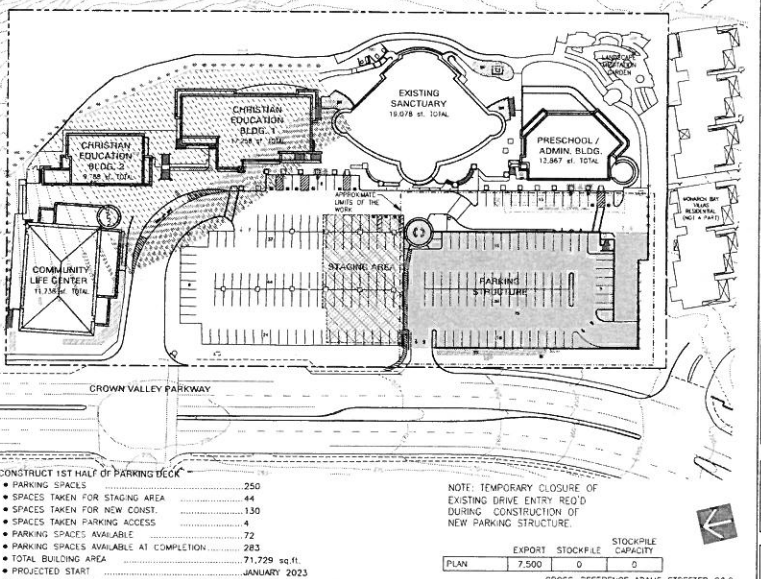
	EXPORT	STOCKPILE	STOCKPILE CAPACITY
PLAN	7,500	0	0

CROSS-REFERENCE ADAMS, STREETER C2.0

Construct New Christian Education Bldg. - Phase 2 1'-60"=0' 2

GENERAL NOTES:

- ADJUSTMENTS IN THE FENCING WILL BE MADE AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREA OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BMP'S:
BR : BIO-RETENTION AREA
BS : BIO-SWALE
BF : BIO-FILTRATION
SD : STORM DRAIN
FOR MORE DETAIL REGARDING BMP'S REFER TO SHI ASD AND DRWS BY ADAMS-STREETER, CIVIL ENGINEERS.
- PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATURDAY PARKING LOTS AND SHUTTLES.



CONSTRUCT 1ST HALF OF PARKING DECK

- PARKING SPACES 250
- SPACES TAKEN FOR STAGING AREA 44
- SPACES TAKEN FOR NEW CONST. 130
- SPACES TAKEN PARKING ACCESS 4
- PARKING SPACES AVAILABLE 72
- PARKING SPACES AVAILABLE AT COMPLETION 283
- TOTAL BUILDING AREA 71,729 sq.ft.
- PROJECTED START JANUARY 2023

	EXPORT	STOCKPILE	STOCKPILE CAPACITY
PLAN	7,500	0	0

CROSS-REFERENCE ADAMS, STREETER C2.0

Construct South Half of Parking Structure - Phase 4 1'-60"=0' 4

mallock ASSOCIATES
ARCHITECTURE DESIGN / BUILD
1614 E. HOLY BAYO, STE. 108
DANA POINT, CA 92629



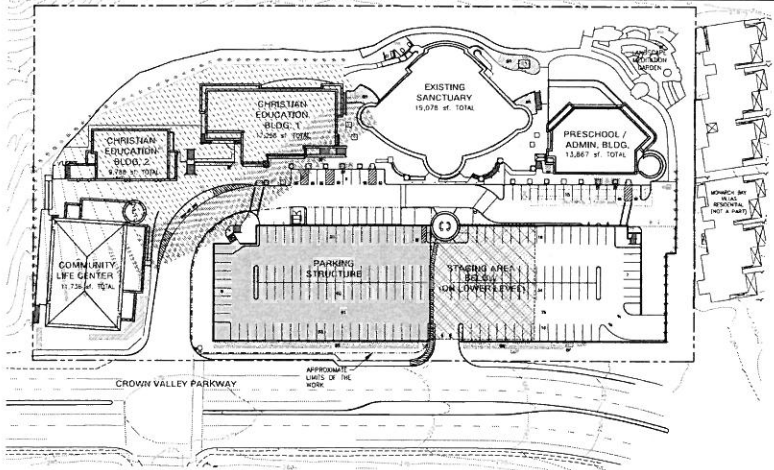
ARCH/ENC STAMP

ALTERNATIVE
Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO.	21235
DRAWN/CHK'D	SL/AM
DATE	ISSUE
MAY 2013	DP Submittal
DEC 03 15	DP Submittal
SHT. TITLE	
PHASE DIAGRAMS	
SHEET NO.	

A5.1

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE AS NECESSARY FOR ANY DEAD-END PARKING ASIDES CREATED BY THE STAGING AREAS SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR: BIO-RETENTION AREA
 BS: BIO-SWALE
 BF: BIO-FILTRATION
 SD: STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SH1 ALSO AND DRINGS BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. PARKING TO BE ACCOMMODATE WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



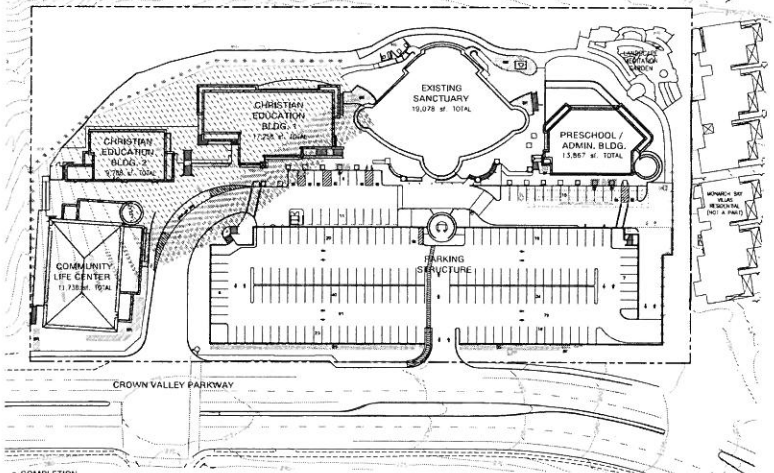
• CONSTRUCT 2ND HALF OF PARKING DECK

• PARKING SPACES	283
• SPACES TAKEN FOR STAGING AREA	40
• SPACES TAKEN FOR NEW CONST.	106
• PARKING SPACES AVAILABLE	135
• PARKING SPACES AVAILABLE AT COMPLETION	364
• TOTAL BUILDING AREA	71,729 sq. ft.
• PROJECTED START	JANUARY 2024

PLAN	EXPORT	STOCKPILE	STOCKPILE CAPACITY
3,000	0	0	

CROSS-REFERENCE ADAMS STREETER C2.0

Construct North Half of Parking Structure - Phase 5 1"=60'-0" 1



• COMPLETION

• ON SITE PARKING SPACES DRIVE AISLE	34
• SPACES LOWER FLOOR PARKING STRUCTURE	164
• SPACES UPPER FLOOR PARKING STRUCTURE	166
• TOTAL PARKING SPACES	364
• TOTAL BUILDING AREA	71,729 sq. ft.
• PROJECTED COMPLETION	JANUARY 2025

Master Plan - Completion 1"=60'-0" 2

mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1614 E. HOLT BLVD., STE. 106
 DANA POINT, CA 92629



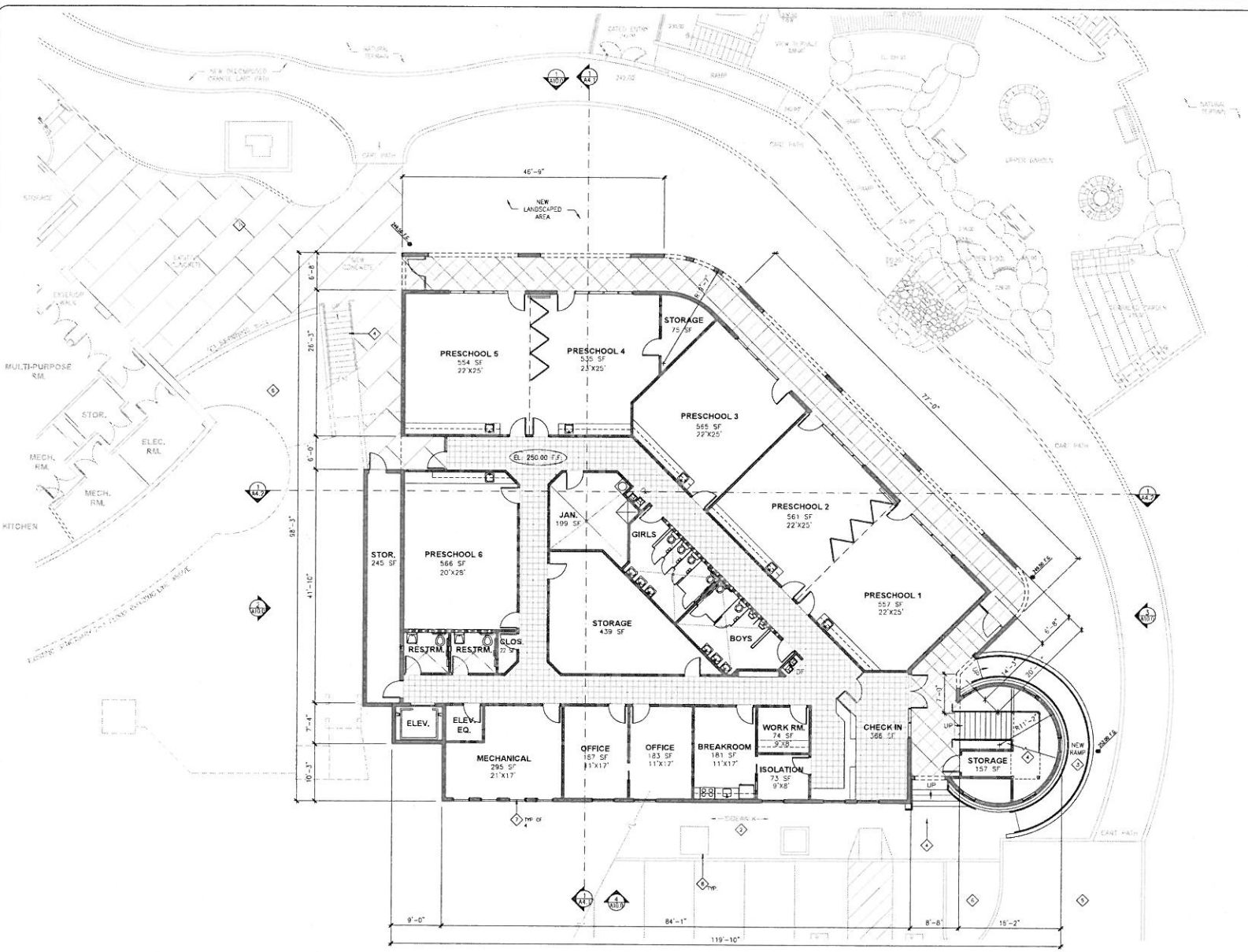
ARCH/ENC STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRW./CHK'D	SL/AM
DATE	ISSUE
MAY 2013	01P Submittal
DEC 03 13	02P Submittal

SHT. TITLE
PHASE DIAGRAMS
SHEET NO.

A5.2

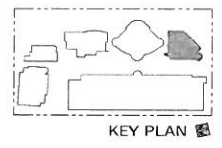


- KEY NOTES**
- ◆ RELOCATED MECHANICAL EQ. ENCLOSURE
 - ◆ NEW HARDSCAPE
 - ◆ ACCESSIBLE RAMP
 - ◆ NEW STAIRS
 - ◆ FIRE DEPT. VEHICLE TURN-AROUND
 - ◆ PLANTER
 - ◆ LOWERED VENTS
 - ◆ NEW TREE WELL

AREA

LOWER LEVEL 7,841 sf.
 UPPER LEVEL 6,026 sf.
 TOTAL: 13,867 sf.

- LEGEND**
- BUILDING SETBACK
 - - - - - PROPERTY LINE
 - [Hatched Box] LANDSCAPED AREA
 - [Stippled Box] HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1054 E. HOLY MOUNTAIN AVE. SUITE 105
 DANA POINT, CA 92629 (949) 250-3773



ARCH/ENG STAMP

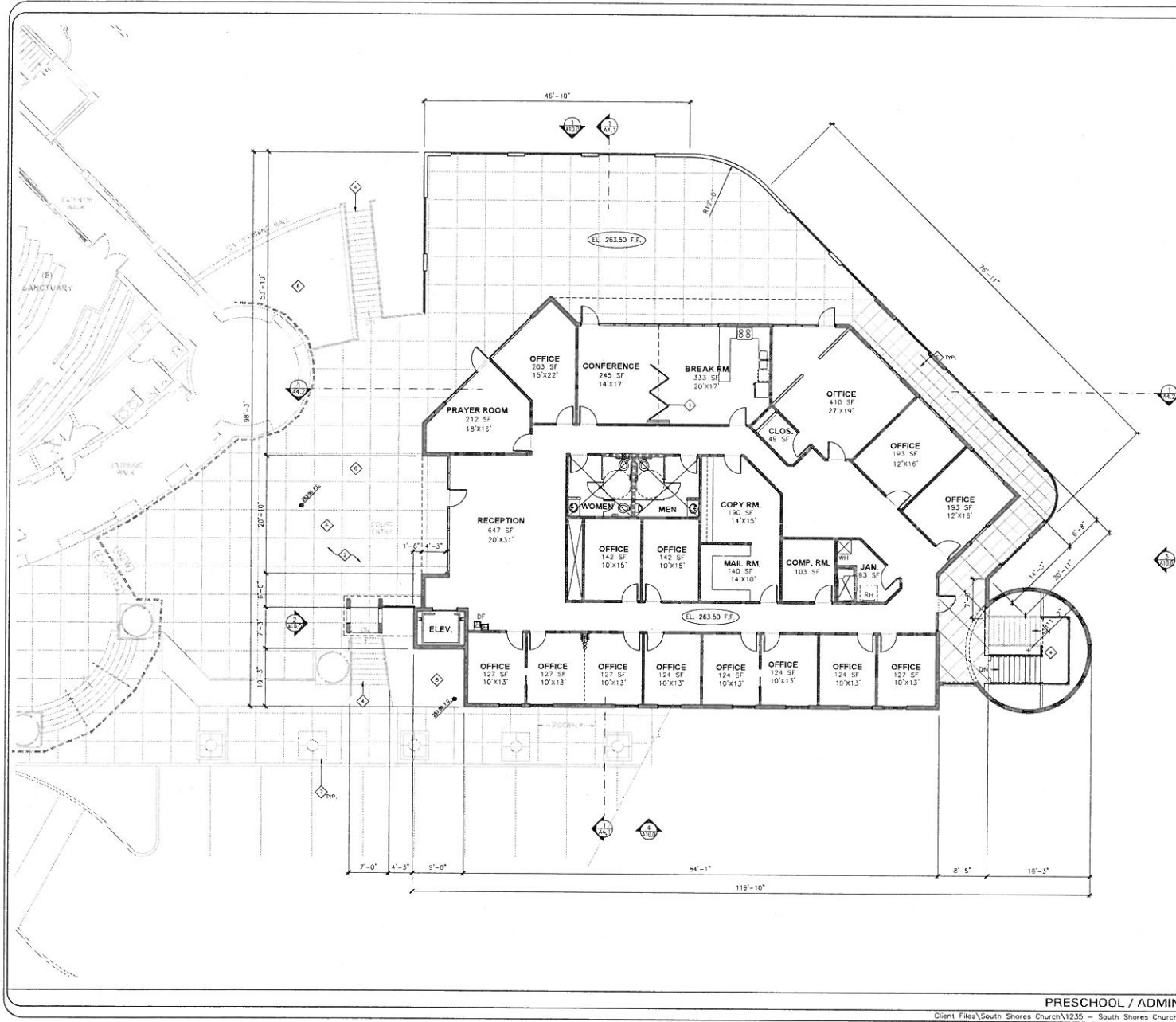
ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
▲ MAY 20 13	01P Submittal
▲ DEC 03 13	02P Submittal

SHT. TITLE
 PRESCHOOL / ADMIN. BLDG.
 LOWER LEVEL

SHEET NO.

A6.0

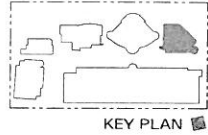


- KEY NOTES**
- ◇ MOVEABLE PARTITION
 - ◇ NEW HARDSCAPE
 - ◇ ACCESSIBLE RAMP
 - ◇ STAIRS
 - ◇ HANDRAIL
 - ◇ PLANTER
 - ◇ NEW TREE WELL

AREA

LOWER LEVEL: 7,841 SF
 UPPER LEVEL: 6,026 SF
 TOTAL: 13,867 SF

- LEGEND**
- - - - BUILDING SETBACK
 - PROPERTY LINE
 - LANDSCAPED AREA
 - HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1034 E. HOLLYWOOD BLVD. STE. 106
 ANAHEIM, CA 92801 949.953.7777

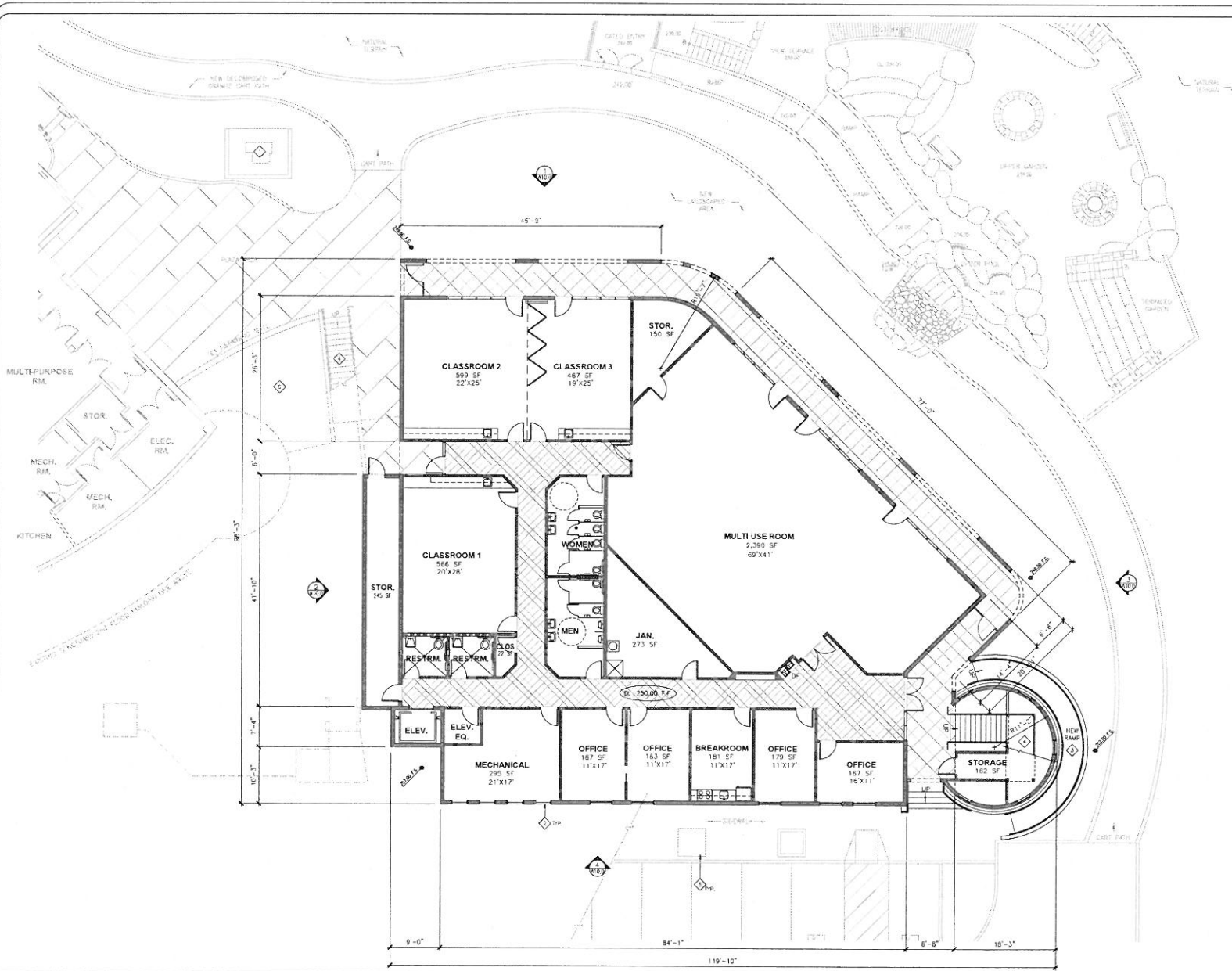


ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWG/CHK'D	SL/AM
DATE	ISSUE
▲ MAY 2013	01P Submittal
▲ DEC 03 13	01P Submittal
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SHT. TITLE
PRESCHOOL / ADMIN. BLDG. UPPER LEVEL

SHEET NO.
A6.1

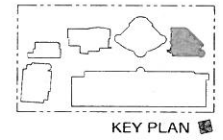


- KEY NOTES**
- ◆ RELOCATED MECHANICAL EQ. ENCLOSURE
 - ◆ LOWERED VENTS
 - ◆ ACCESSIBLE RAMP
 - ◆ NEW STAIRS
 - ◆ NEW TREE WELL
 - ◆ PLANTER

AREA

LOWER LEVEL	7,841 sf.
UPPER LEVEL	6,026 sf.
TOTAL	13,867 sf.

- LEGEND**
- BUILDING SETBACK
 - - - PROPERTY LINE
 - LANDSCAPED AREA
 - ▨ HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1814 E. HOLY MOUNTAIN, SUITE 106
 OAKLAND, CA 94612 510.883.7777



ARCH/ENG STAMP

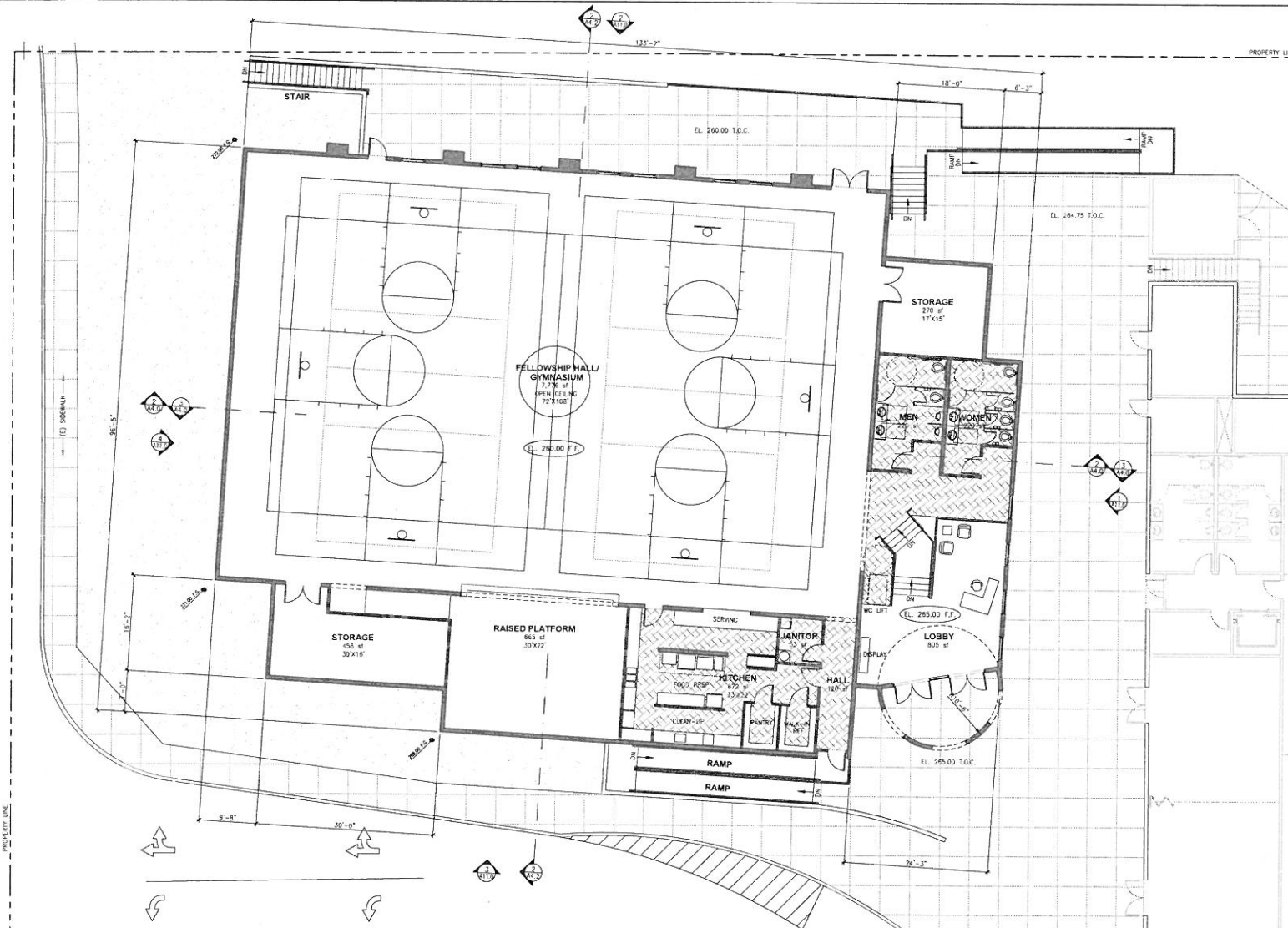
ALTERNATIVE
 Conditional Use Permit, Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRAWN/CHK'D	SL/AM
DATE	ISSUE
May 2015	01P Submit
Dec 015	02P Submit

SHT. TITLE
PRESCHOOL / ADMIN. BLDG. LOWER LEVEL - ALT. RENOVATION

SHEET NO.
A6.2

CROWN VALLEY PARKWAY

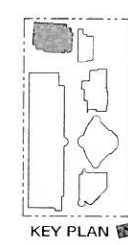


AREA

1 STORY	11,738 sq ft
TOTAL:	11,738 sq ft

LEGEND

- BUILDING SETBACK
- PROPERTY LINE
- LANDSCAPED AREA



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1034 E. HOLT BLVD., STE. 105
 DANA POINT, CA 92629 949.952.7777

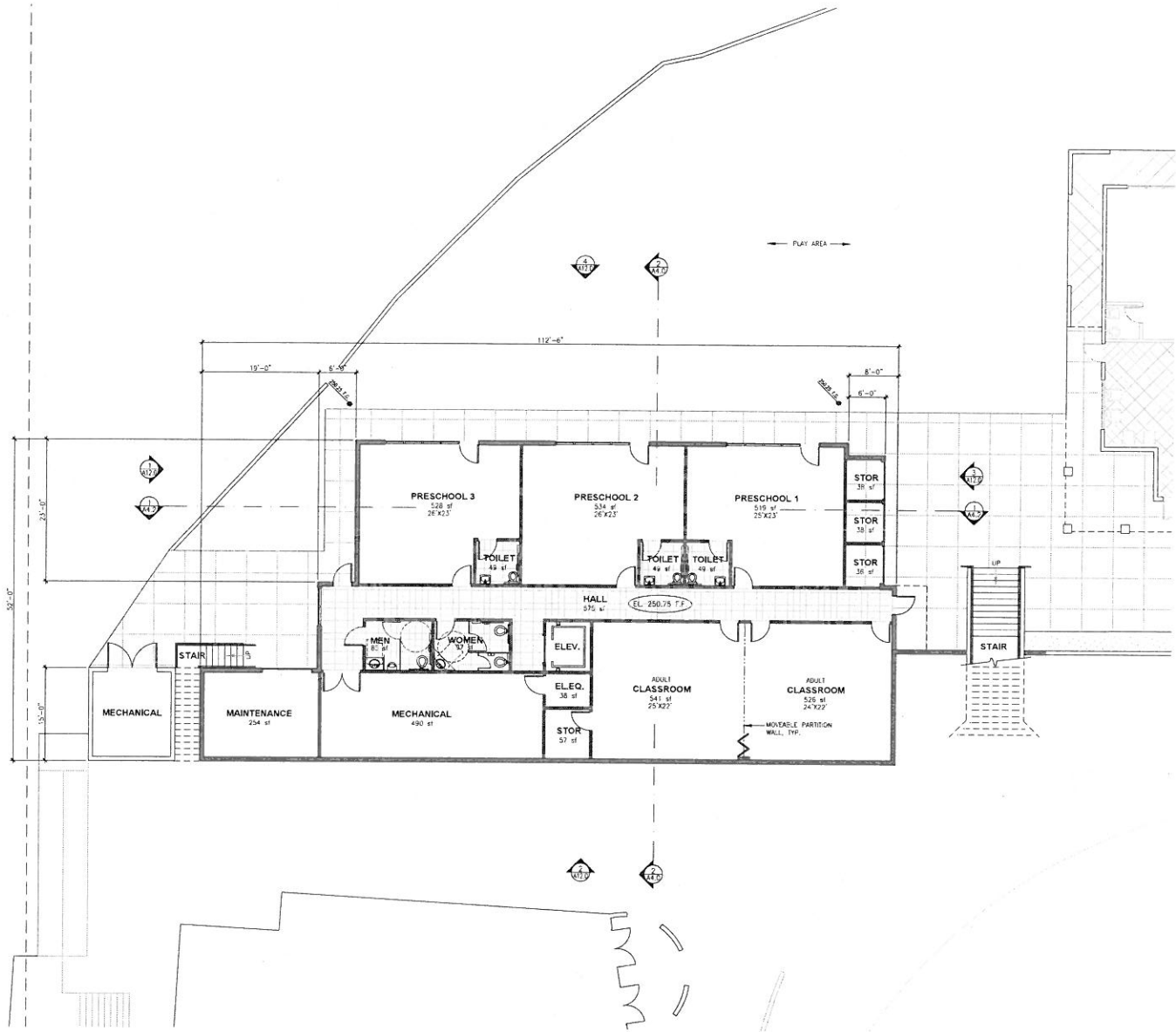


ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
▲ MAY 2013	01P Submittal
▲ DEC 03 13	01P Submittal

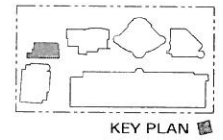
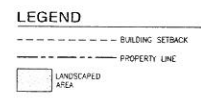
SHT. TITLE
COMMUNITY LIFE CENTER FLOOR PLAN

SHEET NO.
A7.0

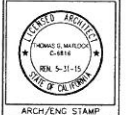


AREA

LOWER LEVEL	4,965 sq. ft.
UPPER LEVEL	4,825 sq. ft.
TOTAL	9,790 sq. ft.



nallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1814 E. HOLT BLVD., STE. 106
 DUBLINO, CA 94568 925.953.7797



ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL / AM
DATE	ISSUE
▲ MAY 2013	DP Submittal
▲ DEC 03 13	DP Submittal
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SHT. TITLE
CHRISTIAN EDUCATION BLDG. 2 - LOWER
 SHEET NO.

A8.0



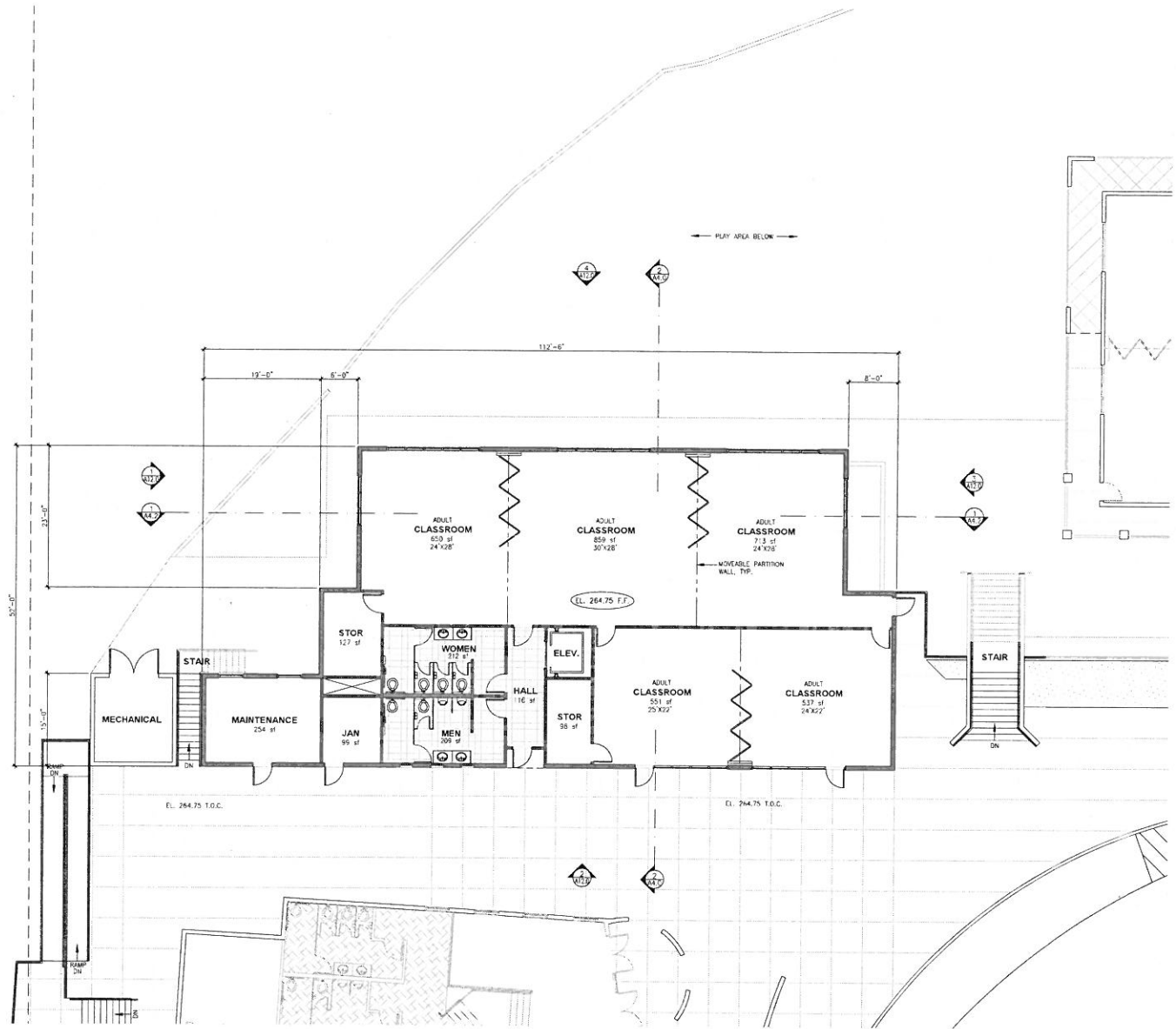
ARCH/ENC STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
MAY 20 13	DP Submittal
DEC 03 13	DP Submittal

SHT. TITLE
CHRISTIAN EDUCATION BLDG.
2 - UPPER

SHEET NO.
A8.1

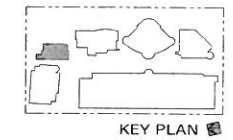


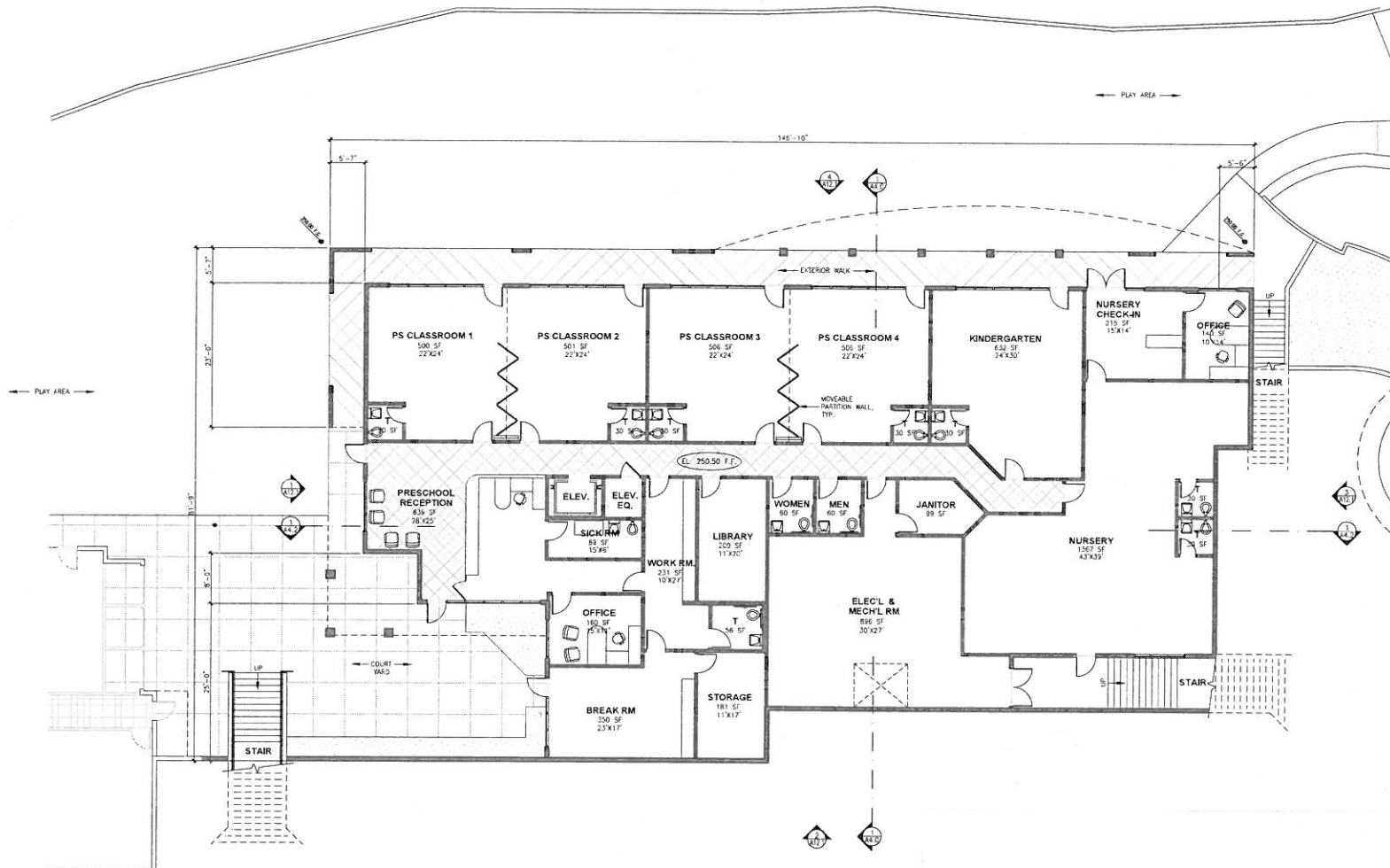
AREA

LOWER LEVEL	4,963 sq. ft.
UPPER LEVEL	4,825 sq. ft.
TOTAL	9,788 sq. ft.

LEGEND

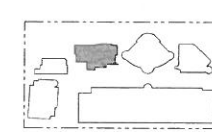
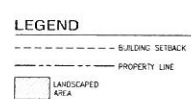
	PROPERTY LINE
	BUILDING SETBACK
	LANDSCAPED AREA





AREA

LOWER LEVEL	8,747 sq. ft.
UPPER LEVEL	8,511 sq. ft.
TOTAL	17,258 sq. ft.



nallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1034 E. HOLT BLVD., STE. 108
 DANA POINT, CA 92629 949-252-7773



ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

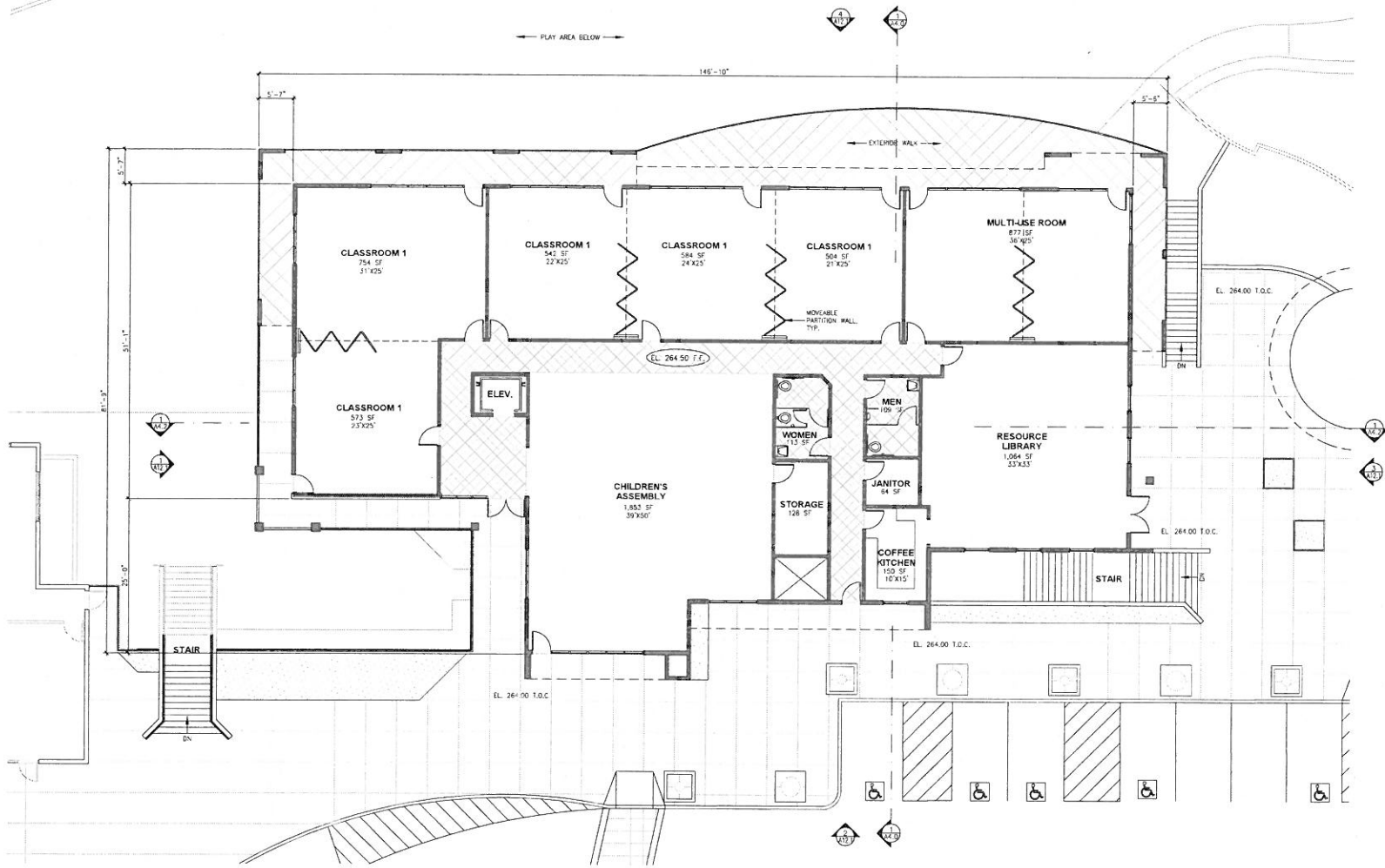
JOB NO.	21235
DRWN/CHK'D	SL/AM

DATE	ISSUE
MAY 20 13	DP Submittal
DEC 03 13	DP Submittal

SHT. TITLE
CHRISTIAN EDUCATION BLDG.
1 - LOWER



SHEET NO.
A8.2

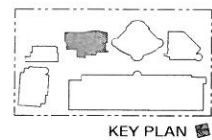


AREA

LOWER LEVEL	8,747 sq. ft.
UPPER LEVEL	8,511 sq. ft.
TOTAL	17,258 sq. ft.

LEGEND

(Symbol: Dashed line)	BUILDING SETBACK
(Symbol: Solid line)	PROPERTY LINE
(Symbol: Box with diagonal lines)	LANDSCAPED AREA



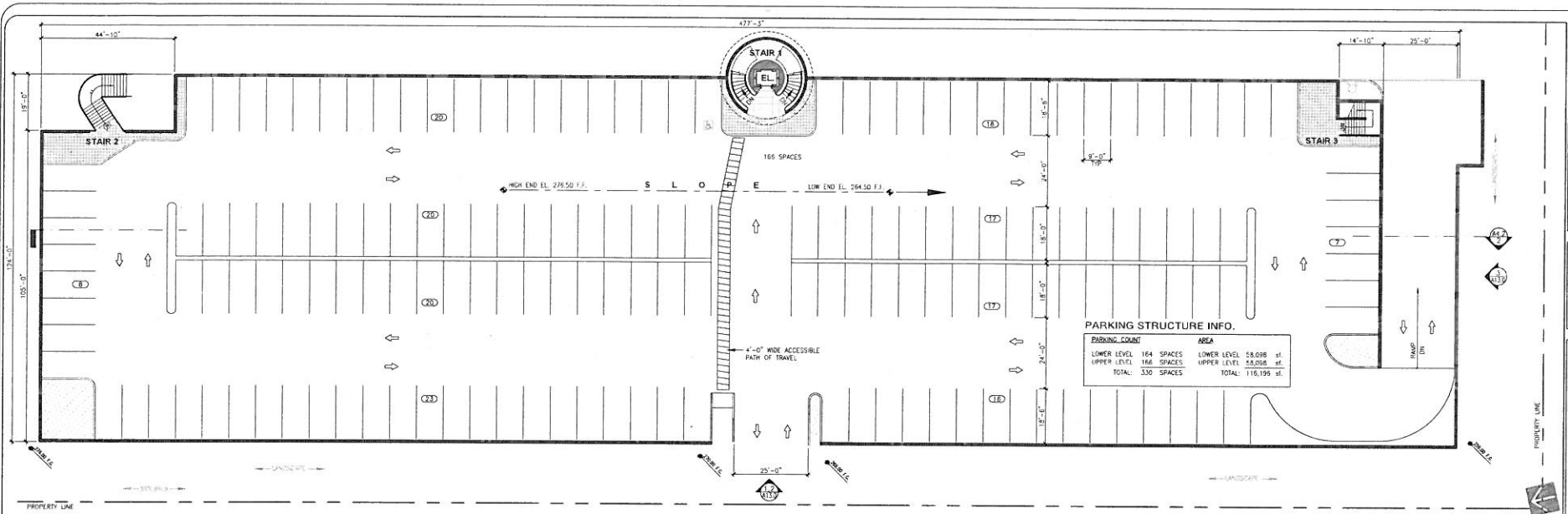
mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1034 E. HOLY BROS. ST. 106
 SAN JOSE, CA 95128 408.933.7773



ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

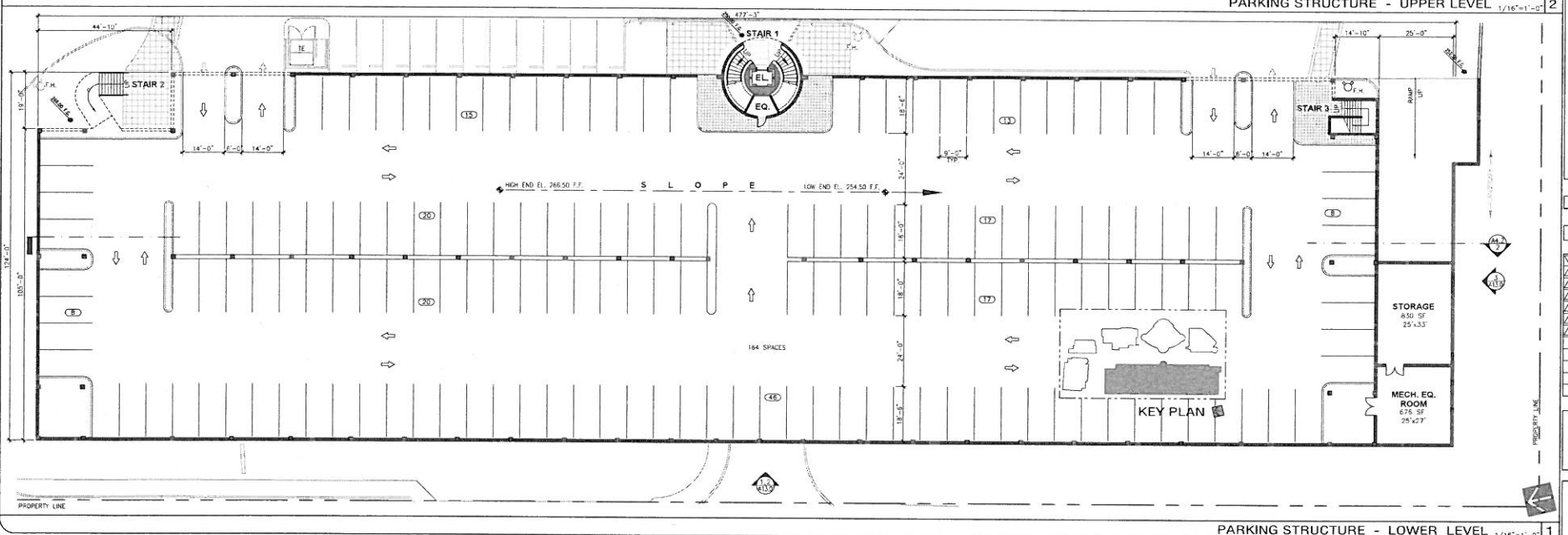
JOB NO.	21235
DRW#/CHCD	SI/AM
DATE	ISSUE
▲ MAY 20 13	DIP Submittal
▲ DEC 03 13	DIP Submittal
SHT. TITLE	CHRISTIAN EDUCATION BLDG. 1 - UPPER
SHEET NO.	

CHRISTIAN EDUCATION BUILDING 1 - UPPER LEVEL 1/8"=1'-0" 1

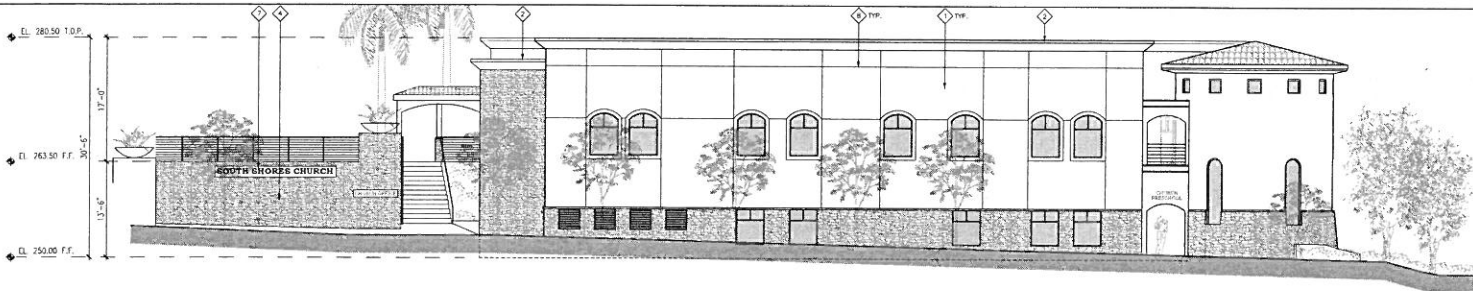


PARKING STRUCTURE INFO.

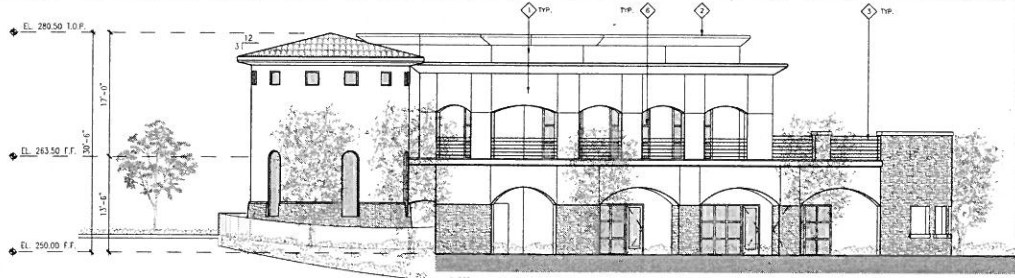
PARKING COUNT		AREA	
LOWER LEVEL	164 SPACES	LOWER LEVEL	58,026 sf
UPPER LEVEL	196 SPACES	UPPER LEVEL	53,026 sf
TOTAL	330 SPACES	TOTAL	111,052 sf



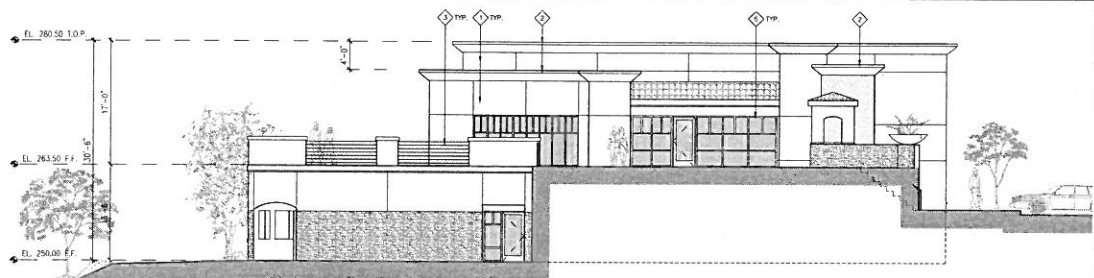
JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
▲ MAY 2013	00P Submittal
▲ REVISION	PROG/SL
▲	
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SHT. TITLE	PARKING STRUCTURE FLOOR PLANS
SHEET NO.	



West Elevation - Preschool / Administration 1/8"=1'-0" 4



South Elevation - Preschool / Administration 1/8"=1'-0" 3



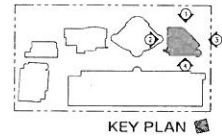
North Elevation - Preschool / Administration 1/8"=1'-0" 2



East Elevation - Preschool / Administration 1/8"=1'-0" 1

- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
 - ◇ PARAPET ROOF
 - ◇ HANDRAIL
 - ◇ RETAINING WALL
 - ◇ OPENING THRU WALL
 - ◇ ALUMINUM WINDOW SYSTEM
 - ◇ SIGNAGE UNDER SEPERATE PERMIT
 - ◇ CONTROL JOINT REVEAL

- LEGEND**
- BRONZE TINTED CLADDING TO MATCH EXISTING SANCTUARY
 - CULTURED STONE BY "EL BORADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
 - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY
- EL. = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 I.O.P. = TOP OF PARAPET



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1834 E. HOLY BLVD., STE. 105
 DANFORD, CA 94501 925.983.7272



ARCH/ENG STAMP

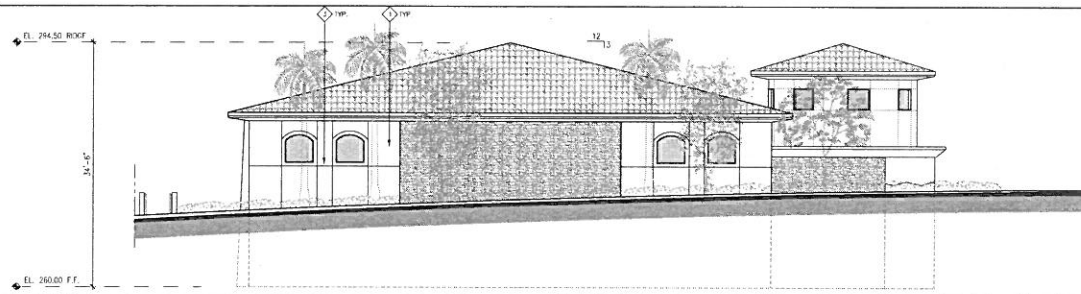
ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO. 21235	
DRWN/CHK'D SL/AM	
DATE	ISSUE
▼ MAY 20 13	01P Submit
▲ DEC 03 13	01P Submit
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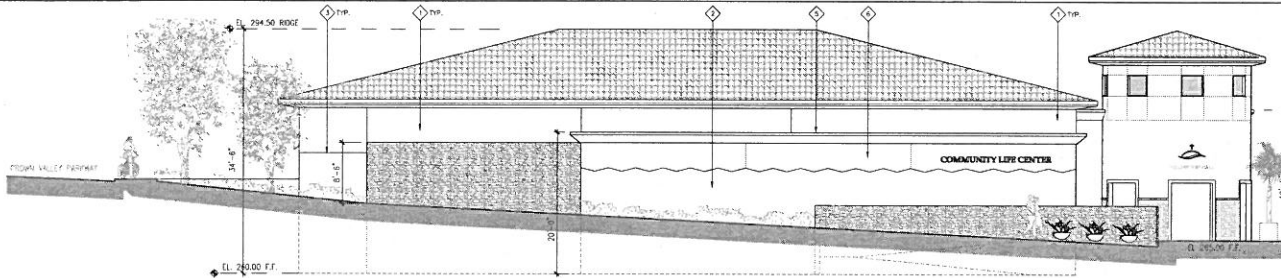
SHT. TITLE
 PRESCHOOL /
 ADMIN. BLDG.
 ELEVATIONS

SHEET NO.

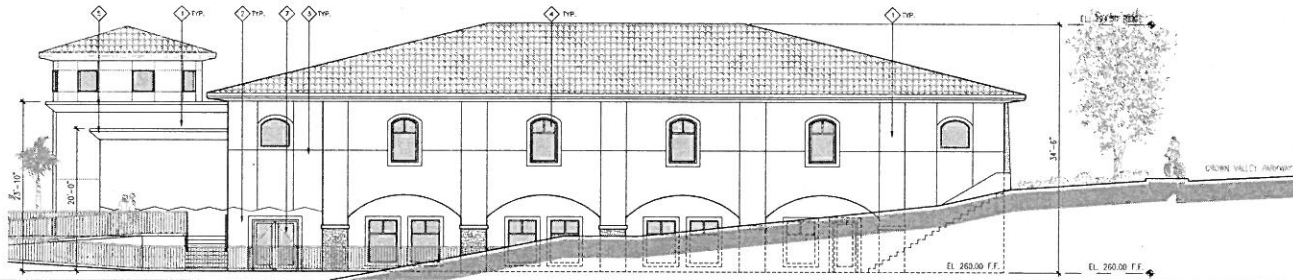
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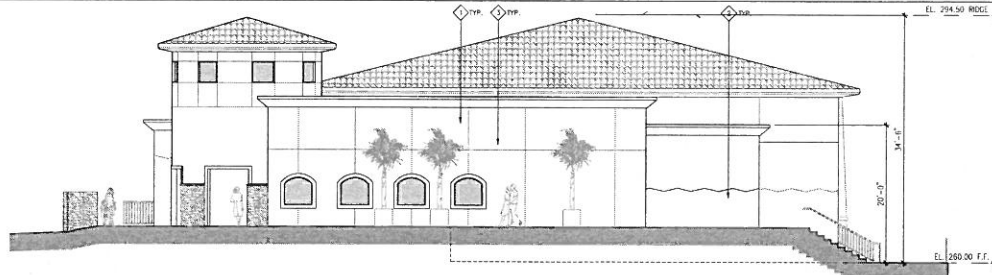
West Elevation - Community Life Center 1/8"=1'-0" 4



South Elevation - Community Life Center 1/8"=1'-0" 3



North Elevation - Community Life Center 1/8"=1'-0" 2



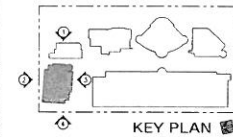
East Elevation - Community Life Center 1/8"=1'-0" 1

KEY NOTES

- ◊ SMOOTH PLASTER FINISH
- ◊ TEXTURED PLASTER FINISH
- ◊ CONTROL JOINT REVEAL
- ◊ CLEERESTORY WINDOWS
- ◊ PARAPET ROOF
- ◊ SOURCE UNDER SEPARATE PERMIT
- ◊ ALUMINUM WINDOW SYSTEM

LEGEND

- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
 - CULTURED STONE BY "EL DORADO" COLOR BLEND TO MATCH BOULDER'S FOUND NATURALLY ON THE SITE
 - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY
- EL. = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET



mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1814 E. HOLY BLVD., STE. 106
 OAKLAND, CA 94612 800.953.7777



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRWN/CHK'D
SL / AM

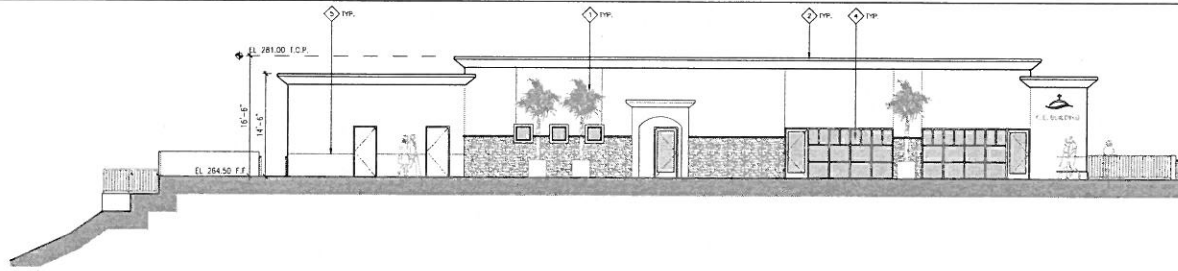
DATE	ISSUE
MAY 2013	DIP Submittal
DEC.03.13	DIP Submittal

SHT. TITLE

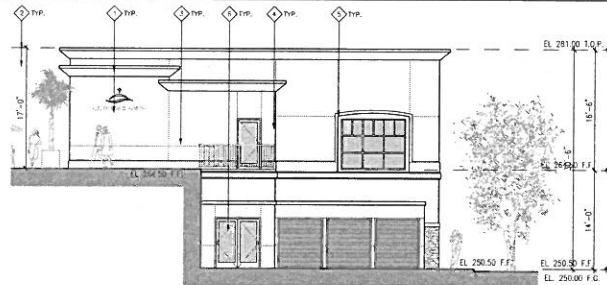
COMMUNITY LIFE CENTER ELEVATIONS

SHEET NO.

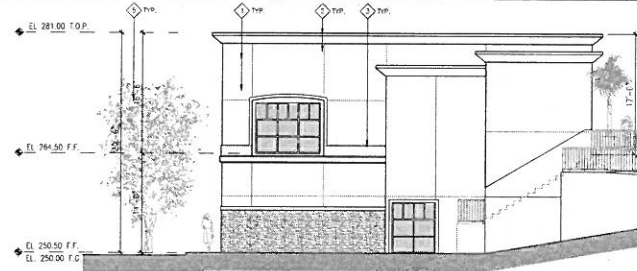
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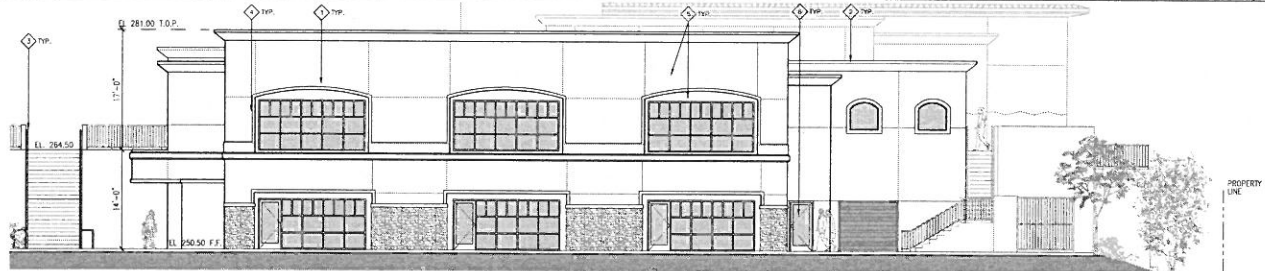
West Elevation - Christian Education Building 2 1/8"=1'-0" 4



South Elevation - Christian Education Building 2 1/8"=1'-0" 3



North Elevation - Christian Education Building 2 1/8"=1'-0" 2



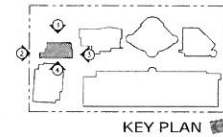
East Elevation - Christian Education Building 2 1/8"=1'-0" 1

KEY NOTES

- ◇ SMOOTH PLASTER FINISH
- ◇ PARAPET ROOF
- ◇ MANDRAK
- ◇ ALUMINUM WINDOW SYSTEM
- ◇ CONTROL JOIST REVEAL
- ◇ METAL ROLL UP DOOR

LEGEND

- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
 - CULTERED STONE BY "EL BORRADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
 - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY
- EL = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1814 E. HOLLYWOOD BL. 105
 OLYMPIA, WA 98513



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

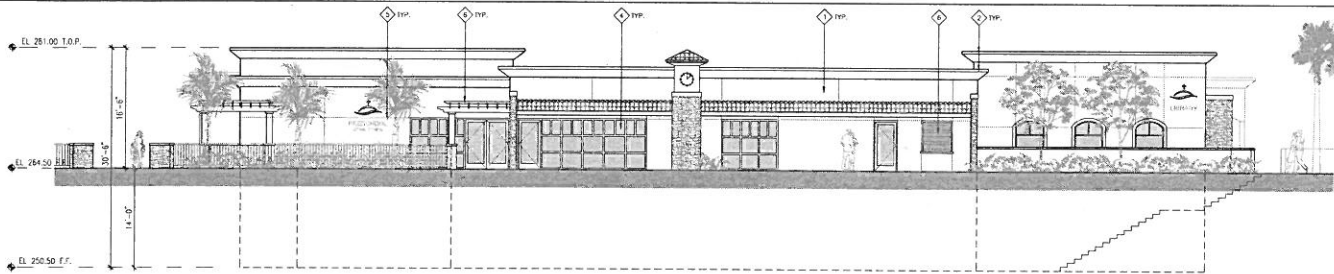
DRWN/CHK'D
SL/AM

DATE	ISSUE
✓ MAY 2013	DIP Submittal
DEC 03 13	DIP Submittal

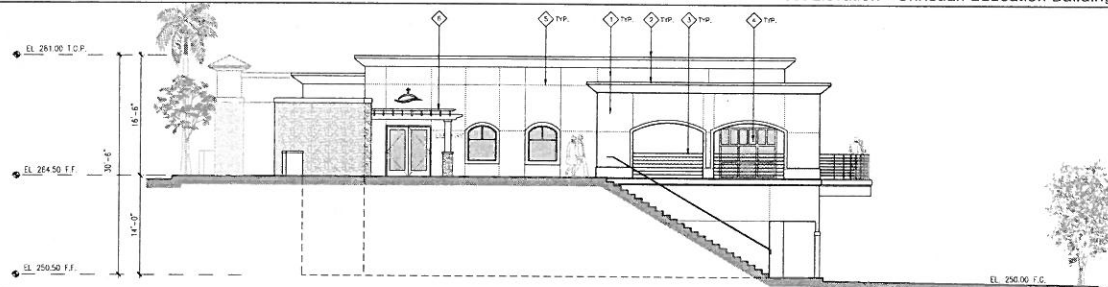
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CHRISTIAN EDUCATION BLDG.
 2

SHEET NO.

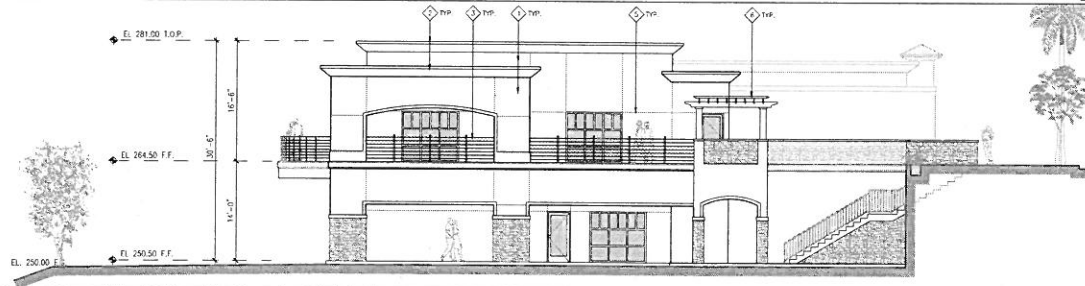
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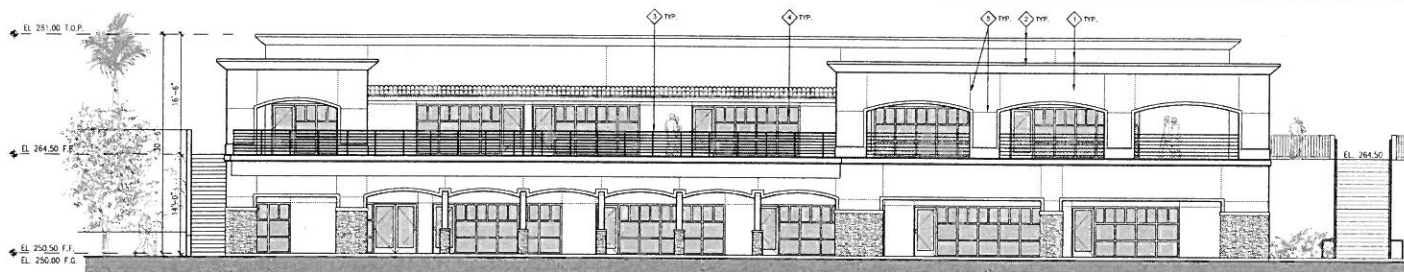
West Elevation - Christian Education Building 1 1/8"=1'-0" 4



South Elevation - Christian Education Building 1 1/8"=1'-0" 3



North Elevation - Christian Education Building 1 1/8"=1'-0" 2



East Elevation - Christian Education Building 1 1/8"=1'-0" 1

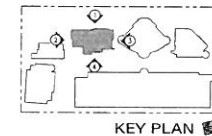
KEY NOTES

- ◇ SMOOTH PLASTER FINISH
- ◇ PARAPET ROOF
- ◇ HORIZONTAL
- ◇ ALUMINUM WINDOW SYSTEM
- ◇ CONTROL JOINT REVEAL
- ◇ WOOD FRAMED TRIGLUS
- ◇ METAL ROLL UP DOOR

LEGEND

- BRONZE FINISH CLADDING TO MATCH EXISTING SANCTUARY
- CUTTERED STONE BY "EL DORADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
- TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY

- EL. = ELEVATION
- F.F. = FINISH FLOOR
- F.G. = FINISH GRADE
- T.O.P. = TOP OF PARAPET



nallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1014 E. HOLY MOUNTAIN ST. 108
 SUITE 200
 SAN JOSE, CA 95128 408.933.7777



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRM/CHKD
SL/AM

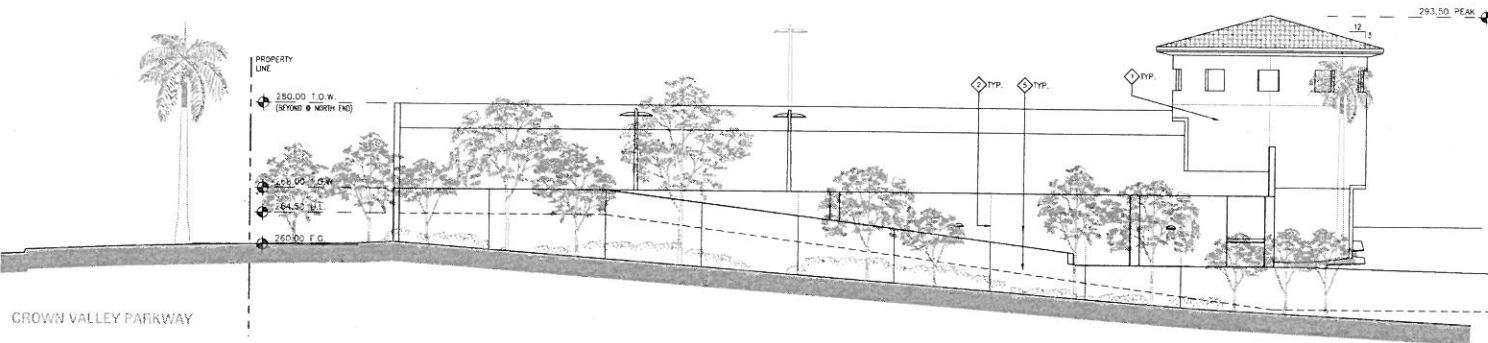
DATE: 5/07
 MAY 20 13 09 54 AM
 DEC 03 13 09 54 AM

SHT. TITLE

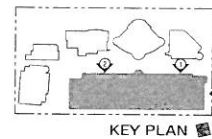
CHRISTIAN
 EDUCATION BLDG.
 1

SHEET NO.

A12.1

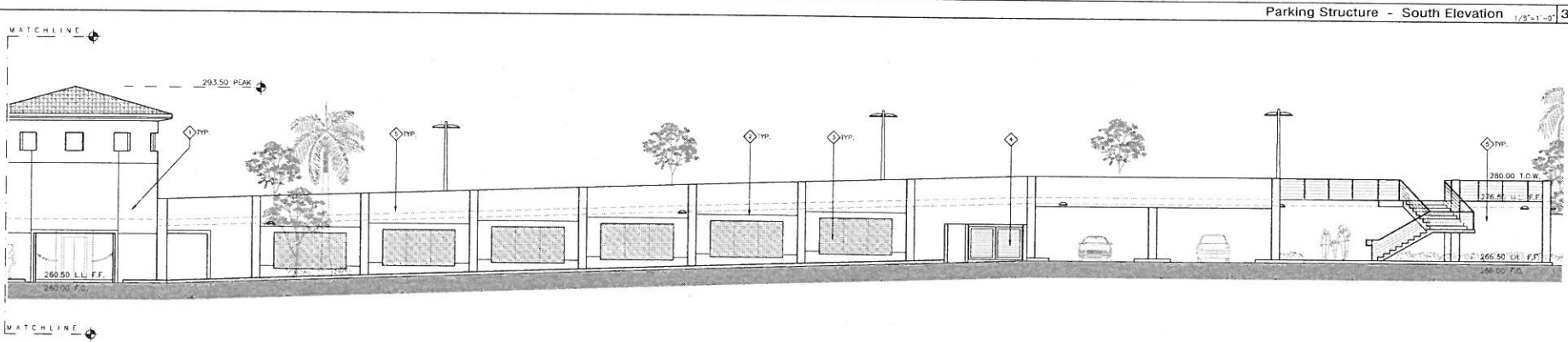


- KEY NOTES**
- ◆ SMOOTH PLASTER FINISH
 - ◆ CONTROL JOINT REVEAL
 - ◆ GREEN SCREEN COVERED WITH WINES
 - ◆ TRASH ENCLOSURE
 - ◆ SMOOTH CONCRETE FINISH
- LEGEND**
- [Patterned Box] TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY

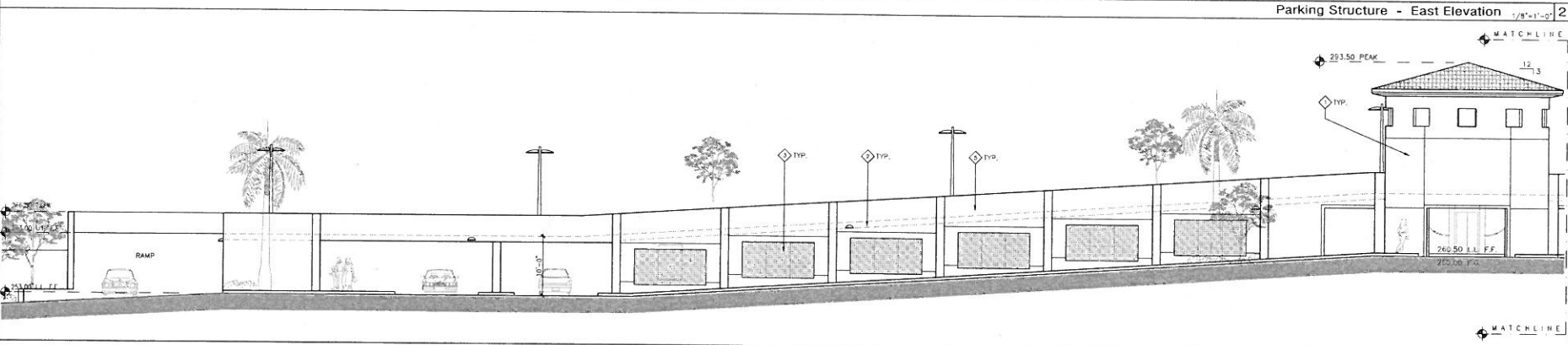


Mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1634 E. HOLI BLVD., STE. 106
 BROWNSVILLE, TX 77801-3932-1777

ARCH/ENG STAMP
 REGISTERED ARCHITECT
 THOMAS G. WITTECK
 CARR
 RA 5-31-15
 TEXAS CULTURE



Parking Structure - South Elevation 1/8"=1'-0" 3

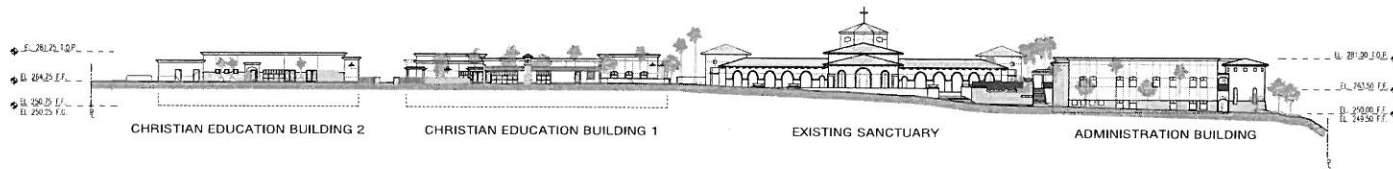


Parking Structure - East Elevation 1/8"=1'-0" 2

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Plena Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
MAY 20.13	01P Submittal
DEC.03.13	02P Submittal
SHT. TITLE	
PARKING STRUCTURE ELEVATIONS	
SHEET NO.	

A13.0



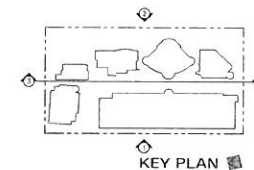
Overall West Elevation From Drive Aisle 1/32"=1'-0" 3



Overall East Elevation 1/32"=1'-0" 2



Overall West Elevation (From Crown Valley Parkway) 1/32"=1'-0" 1



Mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1814 E. HOLT BLVD., STE. 108
 ONTARIO, CA 91761 959.883.7777



ARCH/ENC STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Orange Point, California 92669

JOB NO. 21235

DRWN/CHK'D SL/AM

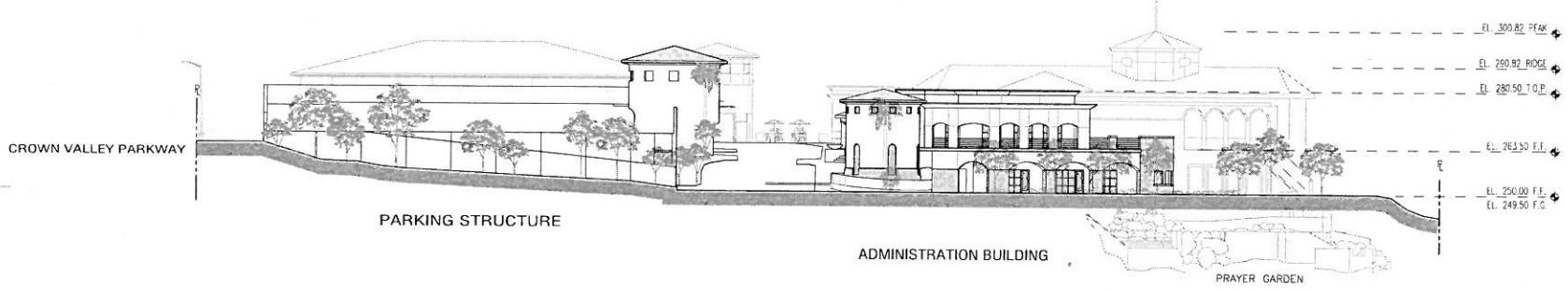
DATE	ISSUE
MAY 20 15	CIP Submit
DEC 03 15	CIP Submit

SHT. TITLE

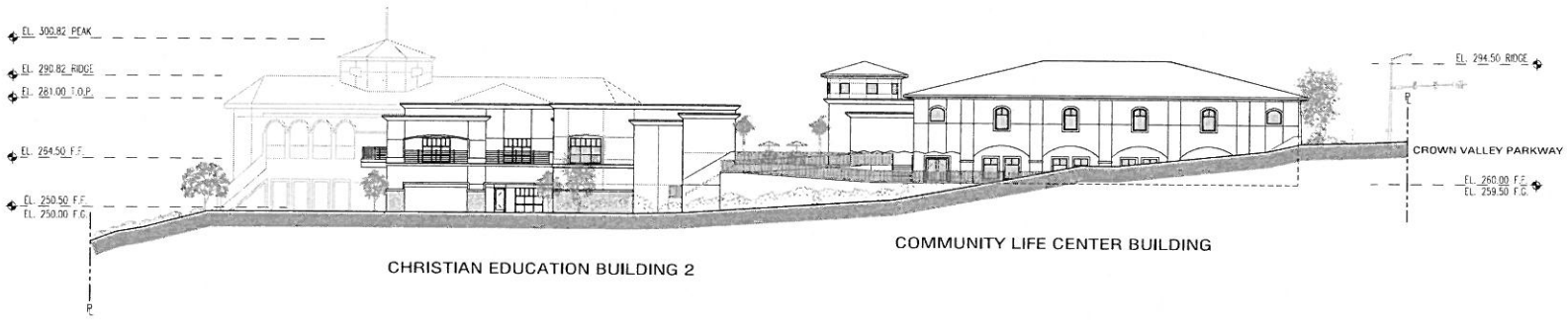
OVERALL ELEVATIONS EAST & WEST

SHEET NO.

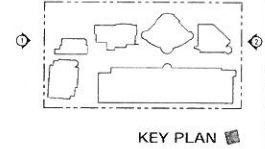
A14.0



OVERALL SOUTH ELEVATION 1/16"=1'-0" 2



OVERALL NORTH ELEVATION 1/16"=1'-0" 1



KEY PLAN

Mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1614 E. HOLY BLVD., STE. 106
 GARDENA, CA 90247-1777



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Perris, CA, California 92369

JOB NO.	21235
DRW/CHK'D	
SL/A/M	
DATE	ISSUE
MAY 20 13	DP Submit
DEC 03 13	DP Submit

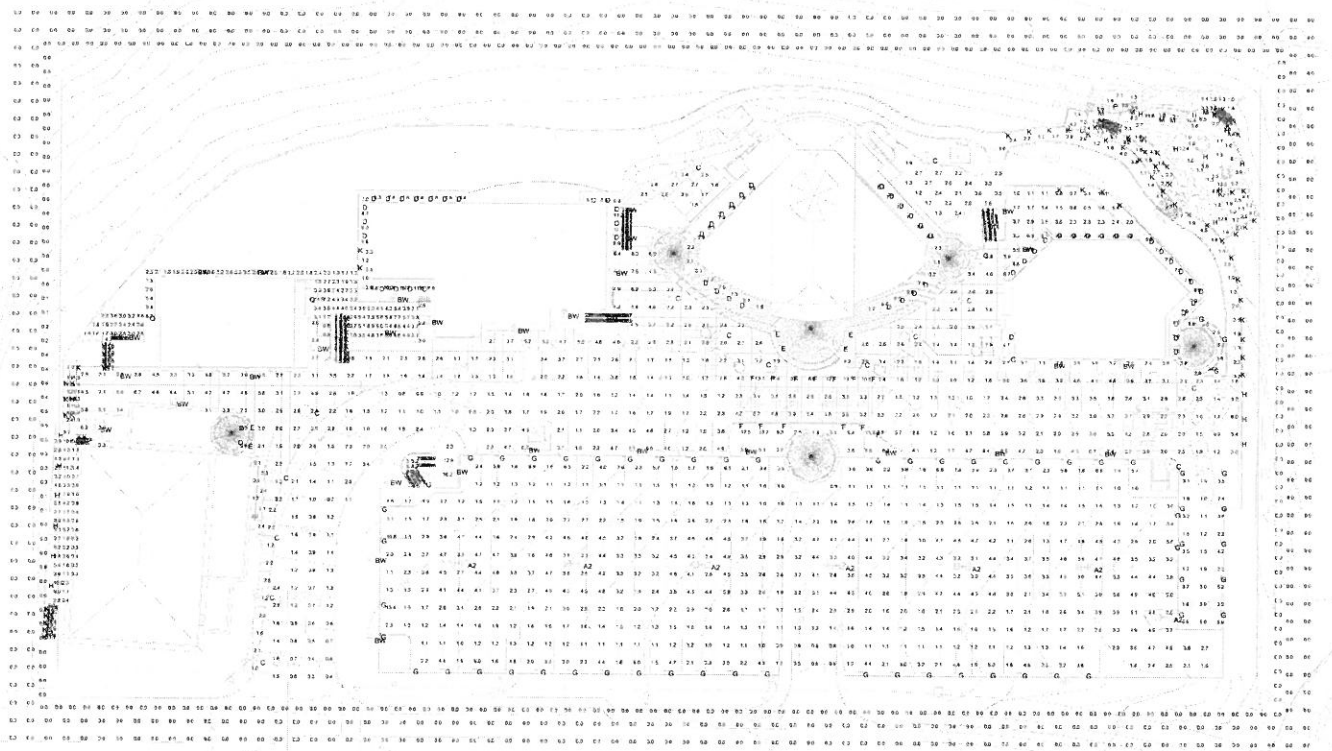
SHT. TITLE
 OVERALL ELEVATIONS NORTH & SOUTH
 SHEET NO.

A14.1

Symbol	Level	Qty	Catalog number	Description	Lamp	Lumen	LF/F
A2	1	1	LS1 100-100	MEDIUM AREA POINT SURVEILLANCE LAMP	VENTURE-NE PERIMETER/STAIRS	21000	0.81
EW	3	1	LS1 100-100	SMALL AREA WALL MOUNTED POINT LAMP W/AMFINISH	VENTURE-NE	14000	0.81
C	1	1	LUMINATION	FLUORESCENT LAMP	P.F.D. METAL HALIDE	3000	0.81
D	80	1	DELUXE	DOWNLIGHT WITH FINNIALS	(1) 10W FL-T	1800	0.85
E	8	1	WALL MOUNTED	WALL MOUNTED	10W CFL	1800	0.81
F	12	1	REBELL 4000	REBELL 4000	ONE-BAY CLEAR LED T5 METAL HALIDE LAMP	4000	0.72
G	80	1	LUMINATION	RECESSED WALL LUMINAIRE	(1) 40W CFL	6300	0.81
H	10	1	LS 100V-100	100V-100	LED	ANALOG	0.90
K	10	1	LUMINATION	STEP LIGHT	(1) 20W CFL	2400	0.81
L	2	1	LUMINANCE	MACHINED 316 STAINLESS STEEL BODY WITH 2x 4" CLEAR POLYCARBONATE LENS	FLUOR-BIN U COLOUR DN TO	ANALOG	0.90
M	2	1	LUMINANCE	MACHINED 316 STAINLESS STEEL BODY WITH 2x 4" CLEAR POLYCARBONATE LENS	FLUOR-BIN U COLOUR DN TO	ANALOG	0.90
O	2	1	LS 100V-100	100V-100	LED	F100	0.72

- NOTES
1. CALC POINTS FOR PARKING AT +13 AND RAMP PROMOTED TO +13
 2. ALL POINTS 10' OF CEILING
 3. CALCULATION POINTS FOR PARKING ON DECK ARE 10' OF CEILING

DISCLAIMER: This calculation is based on the data information provided to C.E.S. by the architect, engineer, lighting designer or other sources. These figures should be verified by a qualified professional engineer as to their accuracy. Design checked such as color to height, color, wall and floor reflectance of all interior surfaces for any particular area that does not affect the overall light levels. C.E.S. is not responsible for the validity of these calculations, and their results only be used as a design reference tool.



SOUTH SHORES BAPTIST CHURCH
 32712 CROWN VALLEY PARKWAY
 DANA POINT, CALIFORNIA

Client
MATLOCK & ASSOC
 Date
 May 20 2013
 Calcs By
 TLJ
 Drawing No.
 SOUTH SHORES

Photometric Site Plan
 Scale 1" = 32'

A15.0

PLANT LEGEND

TREES	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	W/DCOLS	QUANTITY
		ARBUTUS UNEDO (EVERGREEN ACCENT TREE)	STRAWBERRY TREE	4" BOX	LOW	1
		PLATANUS RACEMOSA (DECIDUOUS CANOPY TREE)	CALIFORNIA SYCAMORE	24" BOX	LOW	11
		LAURISTRODIA FAUREI MUNKOGIE (DECIDUOUS FLOWERING ACCENT TREE)	CHAPE MYRTLE	24" BOX	MED	28
		STREPTICIA NICOLAI (EVERGREEN FLOWERING ACCENT PALM)	GIANT BIRD OF PARADISE	24" BOX	LOW	1
		MELALEUCA QUINCORNERIA (VERTICAL EVERGREEN TREE)	CALYPSO TREE	24" BOX	LOW	8
		OLEA EUROPAEA 'SWAIN HILL' (ACCENT EVERGREEN TREE)	SWAIN HILL NON FRUITING OLIVE	4" BOX	LOW	2
		PHOENIX DACTYLOFERA (VERTICAL ACCENT PALM)	DATE PALM	24" B.T.J.	LOW	8
		RAUS LANGSA (EVERGREEN SHADE TREE)	AFRICAN RAINIER	24" BOX	LOW	6

EXISTING TREE TO REMAIN SEE EXISTING TREE LEGEND BELOW
 EXISTING QUEN PALM TO REMAIN - PROTECT IN PLACE

EXISTING TREE LEGEND

TREE NO.	BOTANICAL NAME (COMMON NAME)
1	Eucalyptus species (Eucalyptus)
2	Eucalyptus species (Eucalyptus)
3	Eucalyptus species (Eucalyptus)
4	Eucalyptus species (Eucalyptus)
5	Eucalyptus species (Eucalyptus)
6	Pinus species (Pine)
7	Podocarpus gracilior (Fern Pine)
8	Podocarpus gracilior (Fern Pine)
9	Podocarpus gracilior (Fern Pine)
10	Ficus benjamina (Weeping Fig)
11	Ficus benjamina (Weeping Fig)
12	Podocarpus gracilior (Fern Pine)
13	Ficus benjamina (Weeping Fig)
14	Eucalyptus species (Eucalyptus)
15	Eucalyptus species (Eucalyptus)
16	Magnolia grandiflora (Southern Magnolia)

SHRUBS	SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	W/DCOLS
		AGAVE AMERICANA	CENTURY PLANT	5 GAL	VARIES	VERY LOW
		ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	VARIES	LOW
		BUXUS JAPONICA 'GREEN BEAUTY'	JAPANESE BOXWOOD	5 GAL	30" O.C.	MED
		CALLISTEMON LITTLEJOHN	DWARF BOTTLEBRUSH	9 GAL	7" O.C.	LOW
		ELAEAGNUS FUMIGENS	SILVERBERRY	5 GAL	4" O.C.	LOW
		HETEROMELIS ARBUSTIFOLIA	TOYON	15 GAL	VARIES	LOW
		ISOMERS ARBOREA	BLADDERPOD	5 GAL	VARIES	LOW
		LIGUSTRUM JAPONICUM	WAX LEAF PRIVET	5 GAL	3" O.C.	MED
		OPUNTIA LITTORALIS	PRICKLY PEAR	5 GAL	VARIES	VERY LOW
		WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	4" O.C.	LOW
		XYLOSMA COMPACTUM 'COMPACTUM'	DWARF SHRUB XYLOSMA	5 GAL	VARIES	LOW

ACCENT SHRUBS	SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	W/DCOLS
		ANKOGONTHOS FLAVIDUS 'GOLD VELVET'	KANGAROO PAW	5 GAL	7" O.C.	LOW
		BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	5 GAL	8" O.C.	LOW
		MUEHLBERGIA CAPILLARIS	PINK MUEHLY	1 GAL	7" O.C.	LOW
		ROSA SPICES	ICEBERG FLORIBUNDA ROSE	5 GAL	7" O.C.	MED

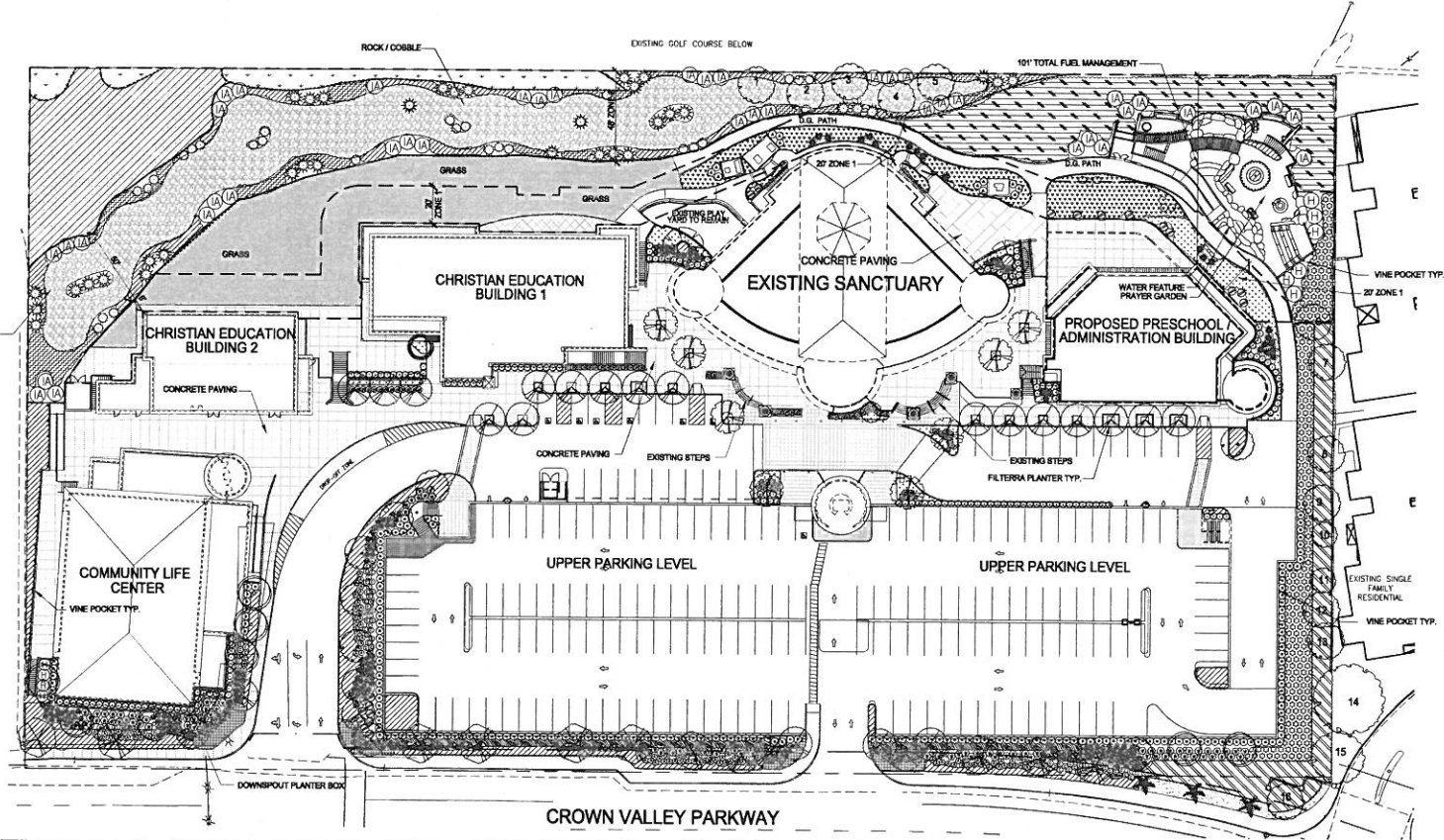
VINE - AT RETAINING & GARAGE WALL ALONG SOUTH	SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	W/DCOLS
		DISTICTIS BUCCINATORIA	BLACK RED TRAMPET VINE	5 GAL	8" O.C.	MED

GROUND COVER PALLETTE	SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	W/DCOLS
		ACACIA REDOLENS 'DEBERT CARPET'	N.C.A.	1 GAL	TRIANGULAR SPACE 4" O.C.	LOW
		CARISSA MACROCARPA 'GREEN CARPET'	NATAL PLUM	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
		CAREX TENUICULCA (BIG SWALE)	BERRYIDGE BRIDGE	2" LINERS	TRIANGULAR SPACE 18" O.C.	LOW
		NA HAYSIANA	POVERTY WEED	1 GAL	TRIANGULAR SPACE 8" O.C.	MED
		LAMPYRANTHUS SPECTABILIS	TRAILING ICEP LANT	1 GAL	TRIANGULAR SPACE 24" O.C.	VERY LOW
		ROSA SPICES 'FLOWER CARPET PINK'	ROSE	2 GAL	TRIANGULAR SPACE 8" O.C.	MED
		ROSMARINUS O. TRINITATISURF 'HUNTINGTON CARPET'	ROSEMARY	1 GAL	TRIANGULAR SPACE 30" O.C.	LOW
		SENECIO SERPENS	BLUE CHALKSTICK	1 GAL	TRIANGULAR SPACE 24" O.C.	LOW
		TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GAL	TRIANGULAR SPACE 18" O.C.	MED
		GM-1 HYBRID BERMAUDA SOD				

EXISTING LANDSCAPE	SYMBOL	DESCRIPTION
		EXISTING CHAPARRAL TO REMAIN
		COASTAL SAGE SCRUB / CHAPARRAL TO REMAIN
		EXISTING ORNAMENTAL LANDSCAPES TO REMAIN
		EXISTING FESCUE GRASS TO REMAIN

SHRUBS O.C. MULCH NOTE:
 ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF SHOULDER COVER MULCH AVAILABLE FROM: GARTHWORKS (909) 270-3868

NOTE: THE LANDSCAPE DESIGN WILL COMPLY WITH CHAPTER 9.55 OF THE ZONING ORDINANCE



NORTH
 SCALE 1" = 30'-0"



PROJECT
 South Shores Church
 32212 Crown Valley Parkway,
 Dana Point, California

mallick ASSOCIATES INC.
 15745 CALIFORNIA ST., 1ST FLOOR
 THOMAS G. MALICK, P.L.A.

DATE	4-14-14
JOB NO.	MTLK0031
DRWN /CHK'D	

PRELIMINARY LANDSCAPE PLAN

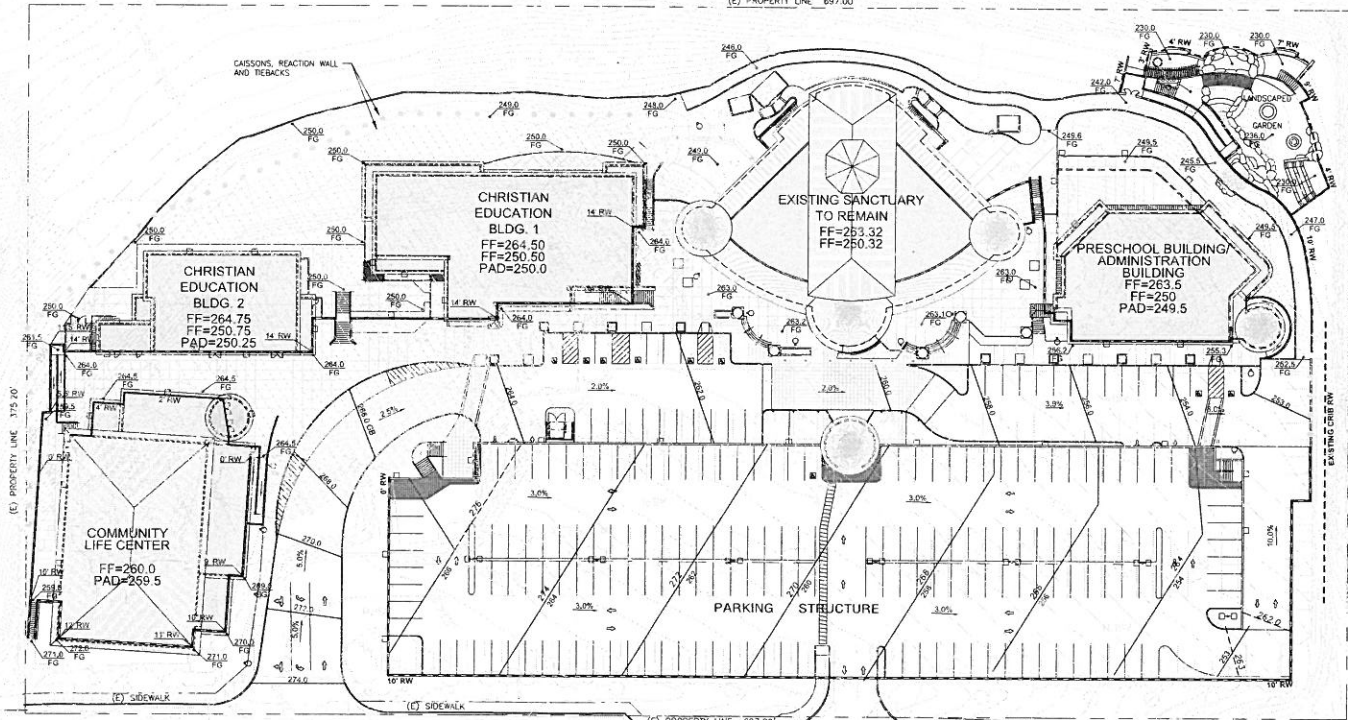
SHT. TITLE

L-1

SHEET NO.

EXISTING GOLF COURSE BELOW

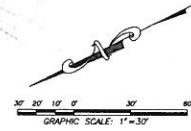
(E) PROPERTY LINE 697.00'



CROWN VALLEY PARKWAY

LEGEND

- RETAINING WALL
- CAISSON
- TIE-BACK
- FF FINISH FLOOR
- FG FINISH GRADE
- RW RETAINING WALL
- 260 CONTOUR ELEVATION
- 250 CONTOUR ELEVATION
- 240 UPPER PARKING STRUCTURE CONTOUR ELEVATION



ADAMS • STREETER
 CIVIL ENGINEERS, INC.
 1000 S. GARDEN AVENUE
 SUITE 200
 ANAHEIM, CALIFORNIA 92805
 PH: 714.944.8888 FAX: 714.944.8889



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway,
 Dana Point, California 92629

JOB NO. 21235

DRWN/CHK'D NS

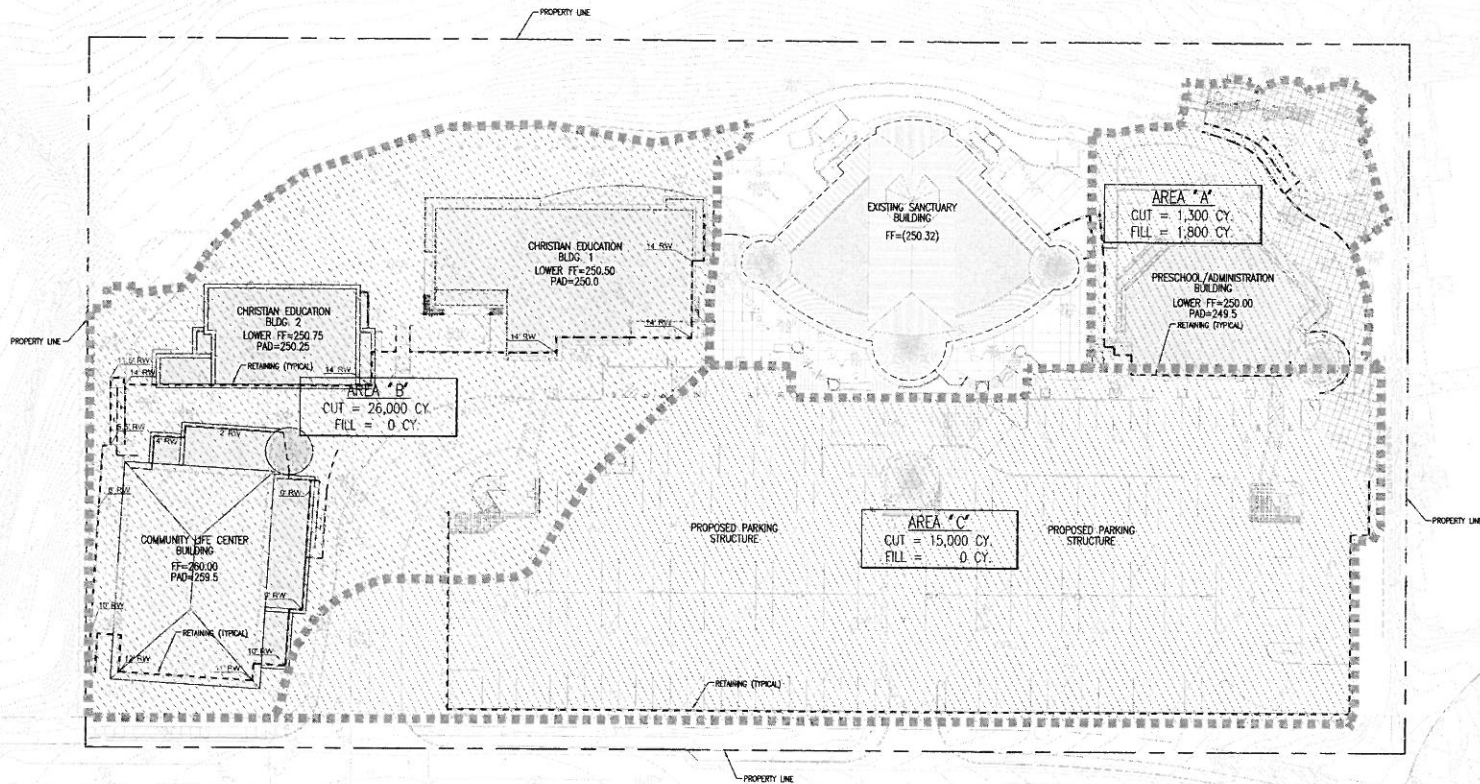
DATE	ISSUE
✓ FEB.07.12	
▲ AUG.16.12	
▲ APR.15.13	
▲ DEC.02.13	

SHT. TITLE

CONCEPTUAL GRADING PLAN

SHEET NO.

C-1



CROWN VALLEY PARKWAY

EARTHWORK QUANTITIES
(DOES NOT INCLUDE SHRINKAGE, SUBSIDENCE, OR BULKING FACTORS)

AREA "A"

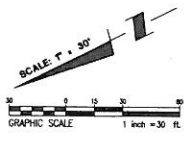
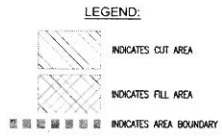
RAW CUT	1,300 C.Y.
RAW FILL	1,800 C.Y.
IMPORT	500 C.Y.
EXPORT	0 C.Y.
STOCKPILE	0 C.Y.

AREA "B"

RAW CUT	26,000 C.Y.
RAW FILL	0 C.Y.
IMPORT	0 C.Y.
EXPORT	26,000 C.Y.
STOCKPILE	0 C.Y.

AREA "C"

RAW CUT	15,000 C.Y.
RAW FILL	0 C.Y.
IMPORT	0 C.Y.
EXPORT	15,000 C.Y.
STOCKPILE	0 C.Y.



ADAMS • STREETER
CIVIL ENGINEERS, INC.
1000 S. GARDEN ST.
SANTA ANA, CA 92705
TEL: 714.241.2330 FAX: 714.241.0281



ALTERNATIVE
Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO.
21235

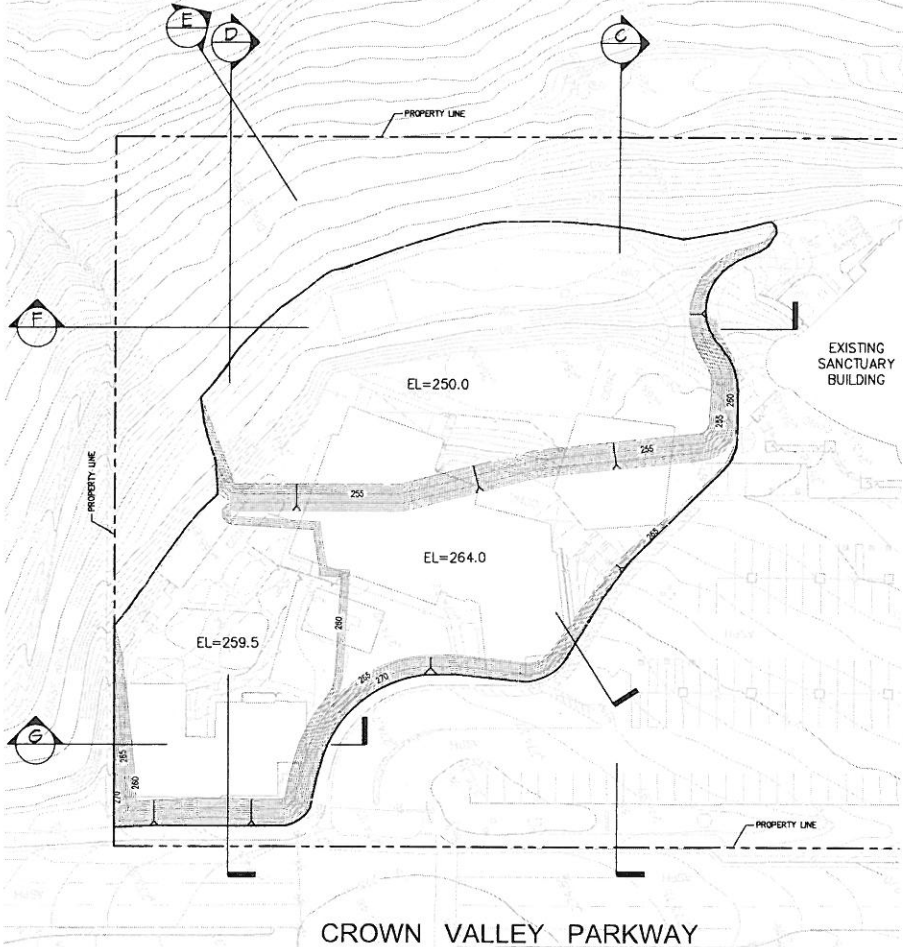
DRAWN/CHK'D
NS

DATE	ISSUE
7/8/07-12	
AUG 16 12	
APR 15 13	
DEC 02 13	

SHT. TITLE
**CORRECTIVE GRADING EXHIBIT
ROUGH GRADE
EARTHWORK
QUANTITIES**

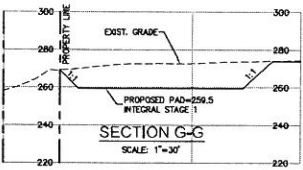
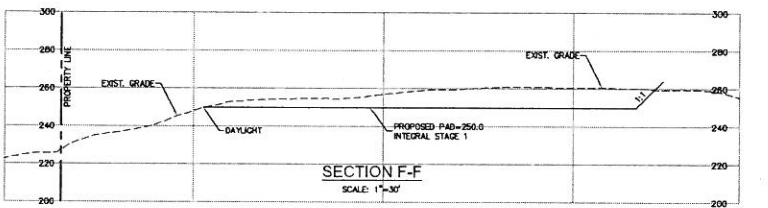
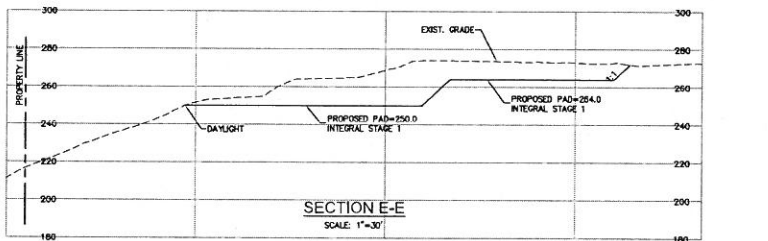
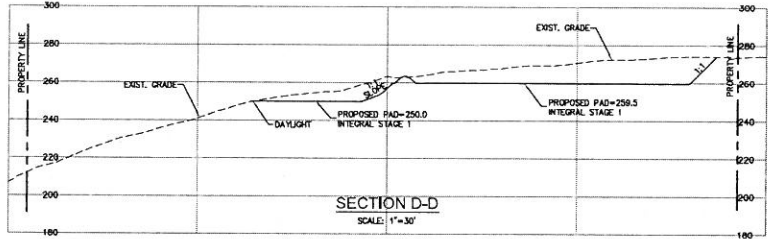
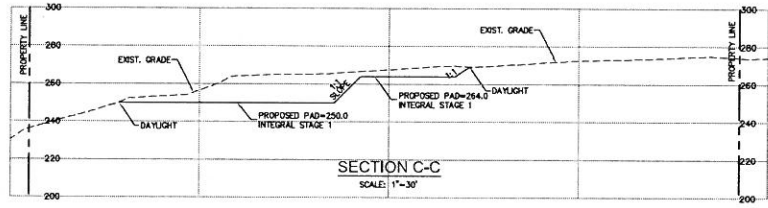
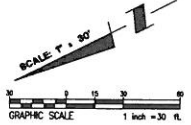
SHEET NO.

C-2.0



INTEGRAL GRADING EARTHWORK QUANTITIES	
* RAW CUT :	23,000 C.Y.
* RAW FILL :	0 C.Y.
EXPORT 23,000 C.Y.	
STOCKPILE 0 C.Y.	

* QUANTITIES SHOWN HEREON ARE PART OF THE TOTAL QUANTITIES SUMMARY ON SHEET C-2.1.



ADAMS + STREETER
 CIVIL ENGINEERS, INC.
 2000 S. MAIN ST. SUITE 200
 DANA POINT, CA 92629
 (949) 261-1111



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway,
 Dana Point, California 92629

JOB NO.
21235

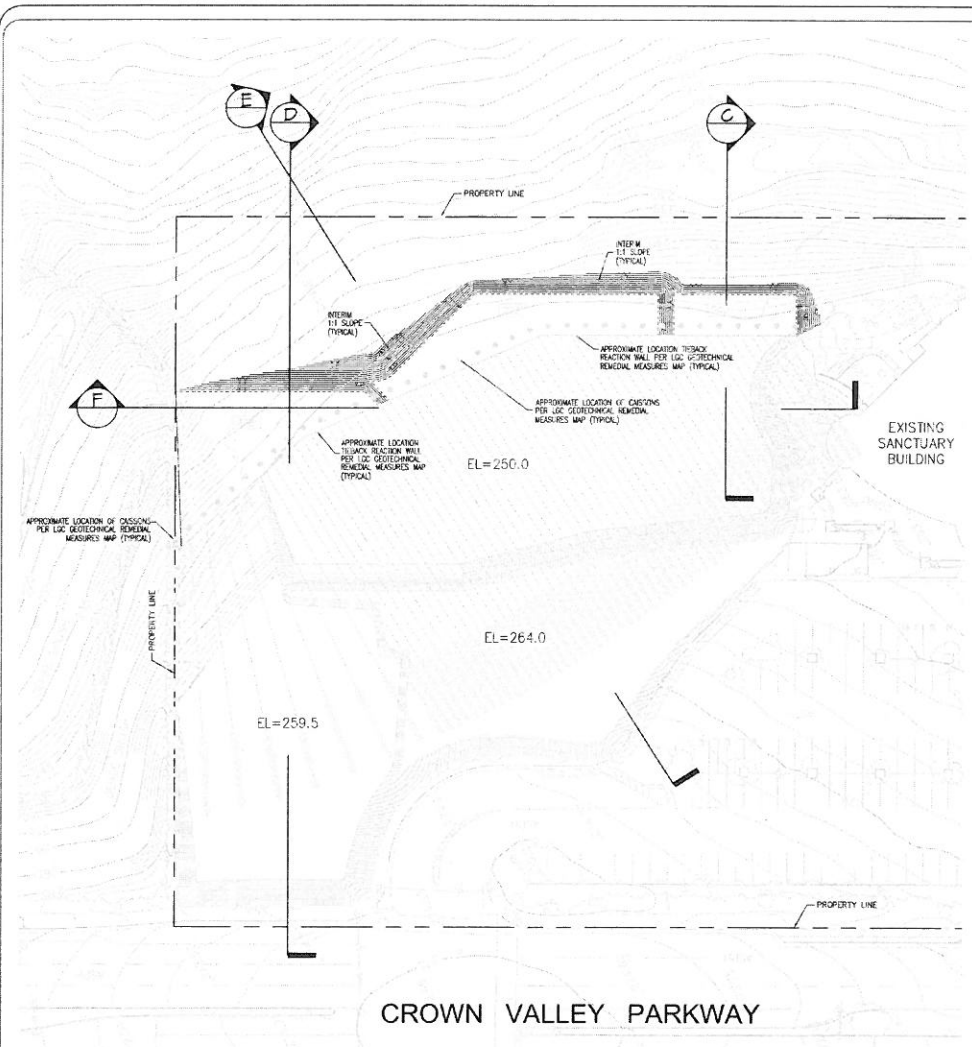
DRAWN/CHK'D
NS

DATE	ISSUE
✓ FEB.07.12	-
▲ AUG.16.12	-
▲ APR.15.13	-
▲ DEC.02.13	-

SHT. TITLE
 CORRECTIVE GRADING EXHIBIT
 STAGE 1
 INTEGRAL GRADING

SHEET NO.

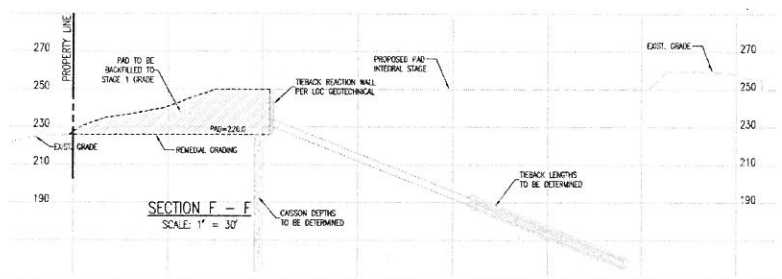
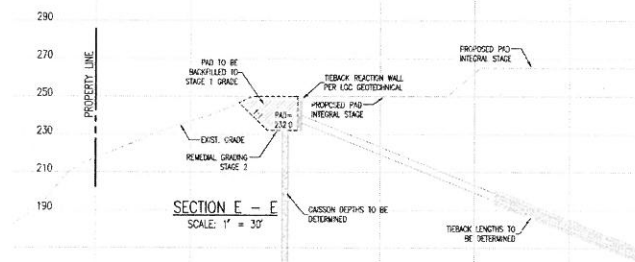
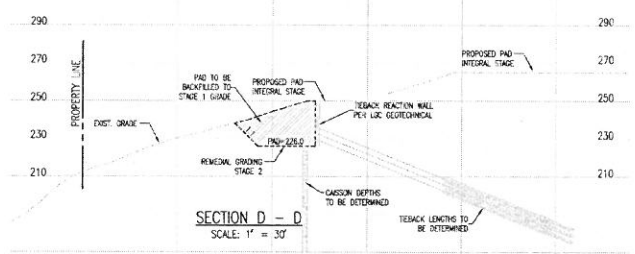
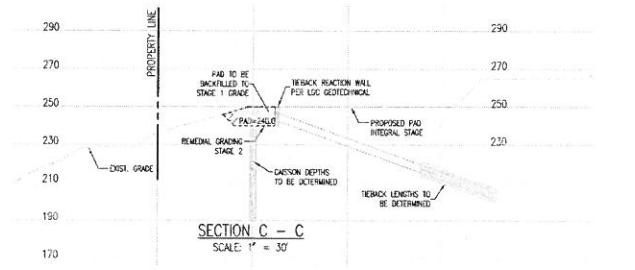
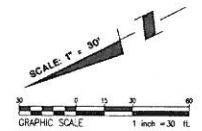
C-2.1



**REMEDIAL STAGE
EARTHWORK QUANTITIES**

* RAW CUT :	3,700 C.Y.
* RAW FILL :	3,700 C.Y.
EXPORT STOCKPILE :	0 C.Y.
STOCKPILE :	0 C.Y.

* QUANTITIES SHOWN HEREON ARE PART OF THE TOTAL QUANTITIES SUMMARY ON SHEET 02.0



ADAMS • STREETER
CIVIL ENGINEERS, INC.
 32712 Crown Valley Parkway
 Dana Point, California 92629
 Tel: 949.444.2330 Fax: 949.444.2331



ARCH/ENG. STAMP

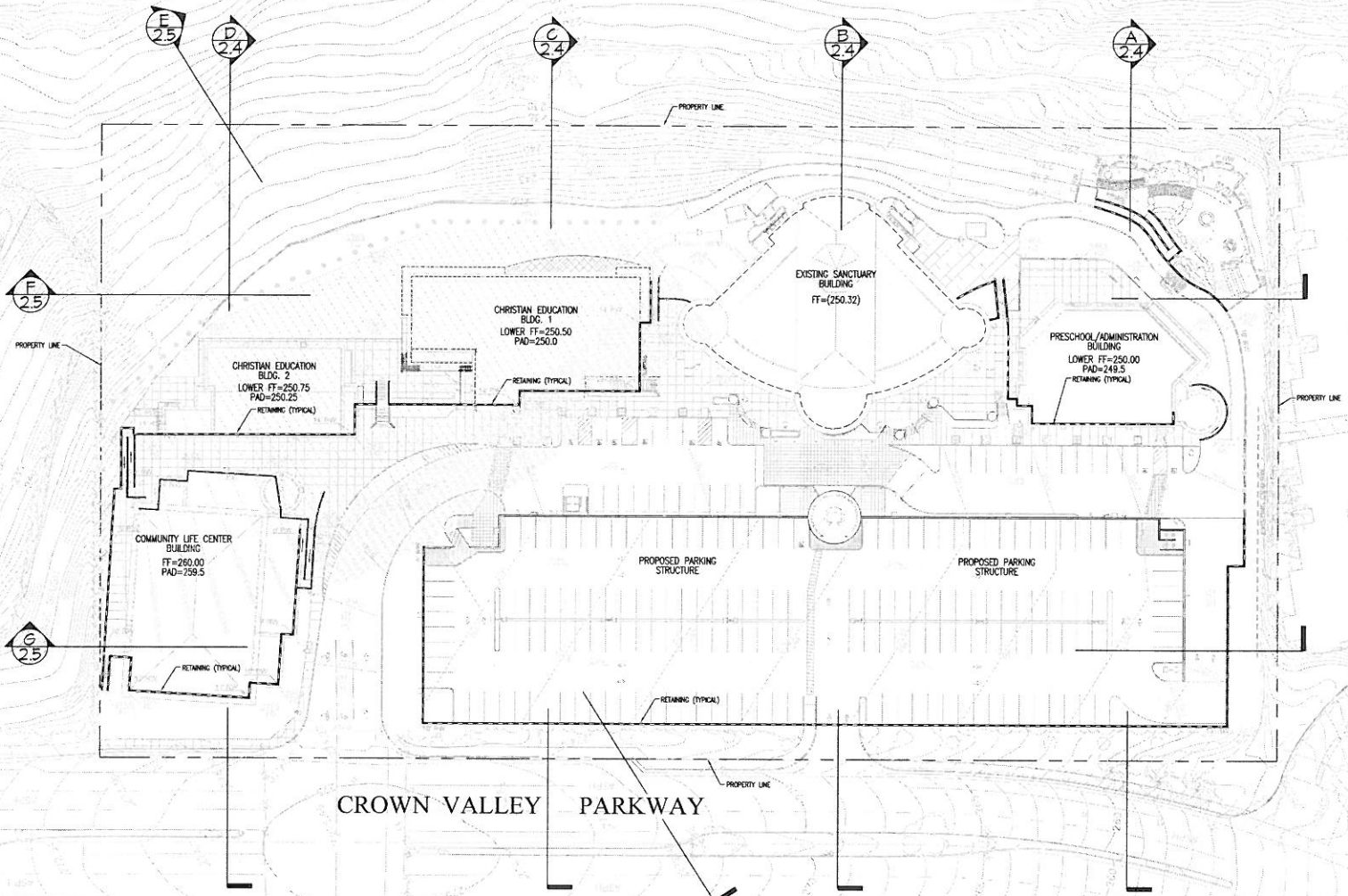
ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRW/CHK'D	NS
DATE	07/12
APR 16 12	
APR 15 13	
DEC 02 13	

SHT. TITLE
**CORRECTIVE
 GRADING EXHIBIT
 STAGE 2
 REMEDIAL GRADING**

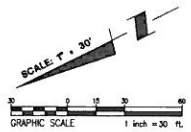
SHEET NO.

C-2.2



CROWN VALLEY PARKWAY

LEGEND:
 - - - - - INDICATES RETAINING WALL/STRUCTURE



ADAMS J. STREETER
 CIVIL ENGINEER
 12719 Crown Valley Parkway
 Dana Point, California 92629
 Ph: 949 474-3350 Fax: 949 474-0059



ARCH/ENG STAMP

ALTERNATIVE
 Conditional Use Permit Submittal for:
South Shores Church
 12719 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

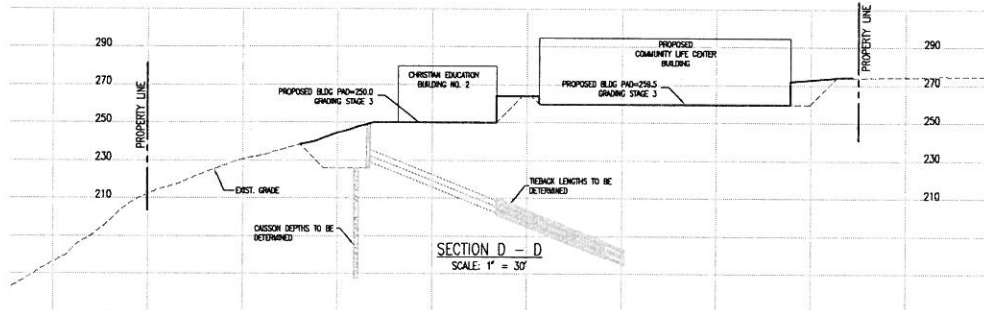
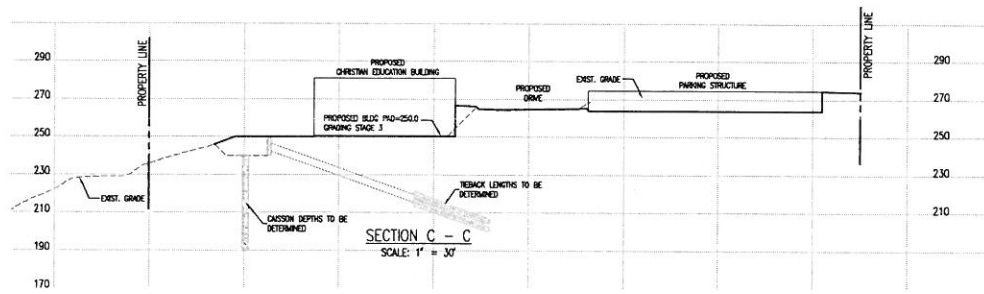
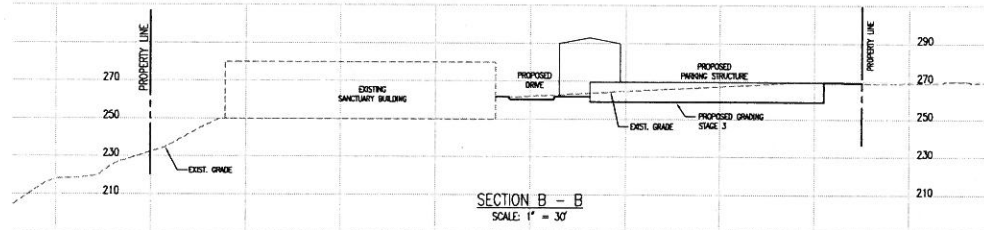
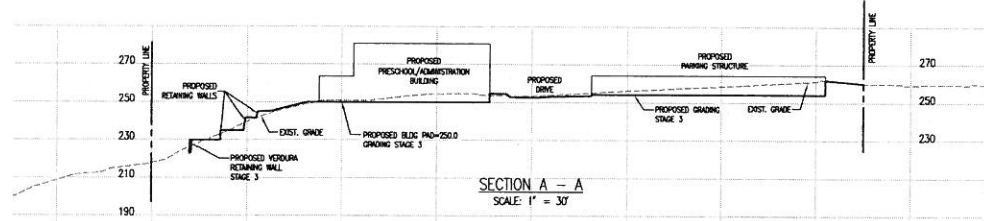
DRWING/CHECK'D
NS

DATE	ISSUE
7/12/12	
8/16/12	
9/13/13	
12/13/13	

SHT. TITLE
 CORRECTIVE GRADING EXHIBIT
 STAGE 3 (FINAL)
 ROUGH GRADING

SHEET NO.

C-2.3



ADAMS - STREETIER
ARCHITECTS & ENGINEERS
10100 S. MAIN ST. SUITE 200
DANA POINT, CA 92629
PH 949 421-8300 FAX 949 421-0881



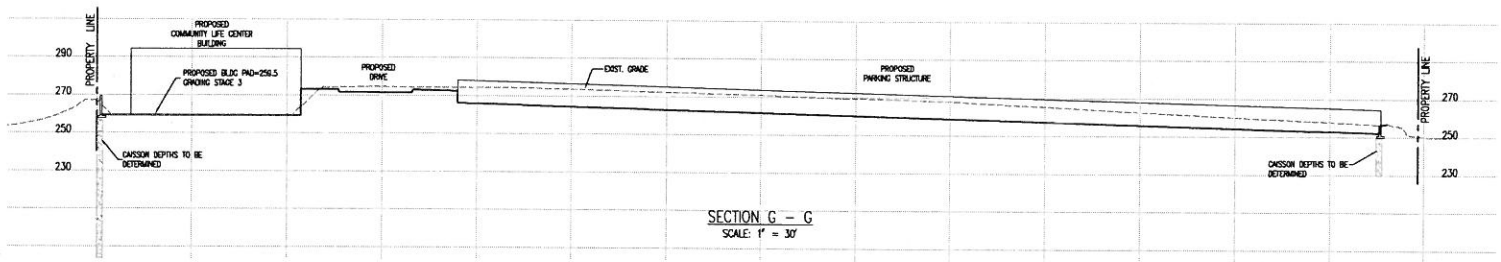
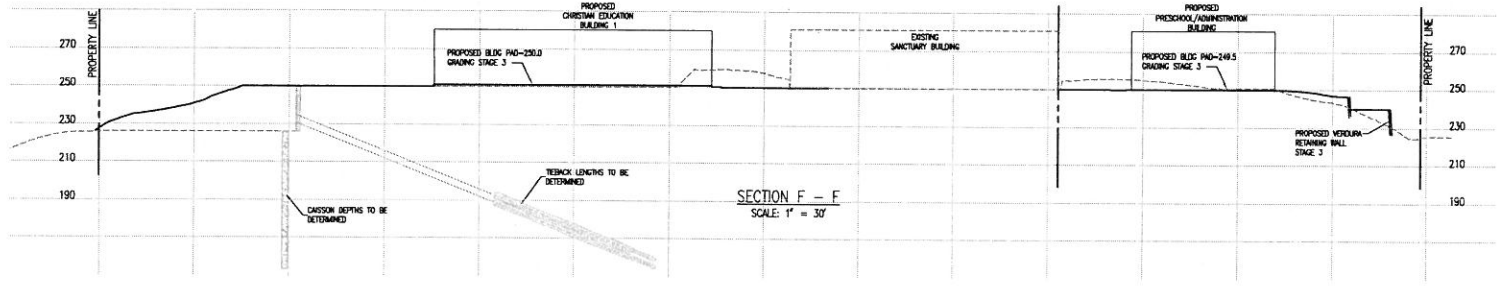
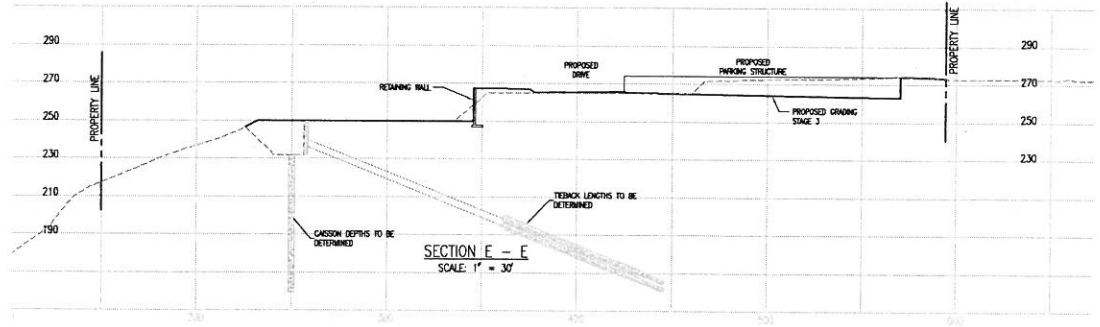
ARCH/ENG STAMP

ALTERNATIVE
Conditional Use Permit Submittal for:
South Shores Church
32712 Coast Valley Parkway
Dana Point, California 92629

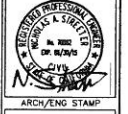
JOB NO.	21-235
DRN/CHK'D	NS
DATE	ISSUE
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<input checked="" type="checkbox"/> APR.10.12	-
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<input checked="" type="checkbox"/> DEC.02.13	-

SHT. TITLE
CORRECTIVE GRADING EXHIBIT
STAGE 3
ROUGH GRADE SECTIONS

SHEET NO.
C-2.4



ADAMS - STREETER
ARCHITECTS & ENGINEERS
10100 W. VALLEY BLVD., SUITE 200
DANA POINT, CA 92629
PH: 949-443-3369 FAX: 949-443-0881



ARCH/ENG STAMP

ALTERNATIVE
Conditional Use Permit Submitted for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO.
21235

DRN/CHK'D
NS

DATE	ISSUE
✓ FEB.07.12	-
▲ AUG.18.12	-
▲ APR.15.13	-
▲ DEC.02.13	-

SHT. TITLE
CORRECTIVE
GRADING EXHIBIT
STAGE 3
ROUGH GRADE SECTIONS

SHEET NO.
C-2.5