

PROPOSED MASTER PLAN

Conditional Use Permit Submittal for: South Shores Church

32712 Crown Valley Parkway
Dana Point, California 92629

(CDP 04-11 / CUP 04-21 / SDP 04-31)

Mallock
ASSOCIATES
ARCHITECTURE DESIGN/BUILD
1814 E. HOLT BLVD., STE. 105
DANA POINT, CA 92618 949-933-7773



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO.
21235

DRWN/CHK'D
SL/AM

DATE ISSUE

DATE	ISSUE
APR 06 09	CUP Submittal 1
OCT 7 07	CUP Submittal 2
MAY 01 08	CUP Review
FEB 28 17	-
AUG 16 17	-
DEC 03 17	CUP Submittal

SHT. TITLE
C.U.P.
COVER SHEET

SHEET NO.

A0.0

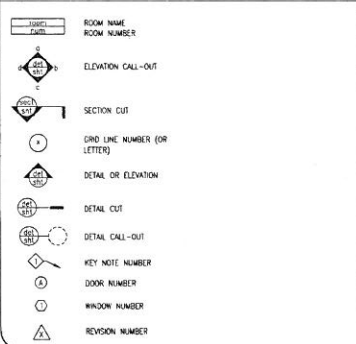
ABBREVIATIONS

Table with columns for Abbreviations and General Notes. Includes items like ANCHOR BOLT, ASPHALT CONCRETE, ACQUISITION, etc.

GENERAL NOTES

- 1. SUBMITTAL FOR GRADING PLAN CHECK AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED FROM PUBLIC STREETS OR SIDEWALKS. ACCESSIBLE BUILDING ENTRANCES, AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED BETWEEN ACCESSIBLE BUILDINGS AND ELEMENTS ON THE SAME SITE, SUCH AS WELL AS ACCESSIBLE RESTROOMS, DRINKING FOUNTAINS, AND PUBLIC PHONES.

SYMBOLS



CONSULTANTS

OWNER: SOUTH SHORES CHURCH 32712 CROWN VALLEY PARKWAY DANA POINT, CA 92625
ARCHITECT: MATLOCK ASSOCIATES, INC 1614 E. HOLI BLVD., SUITE 106
CONSULTANTS: LANDSCAPE: ENVIRONMENTAL ARCHITECTURE
SOILS ENGINEER: LGG GEOTECHNICAL, INC

INDEX OF SHEETS

- ARCHITECTURAL: A0 COVER SHEET, A1.0 GENERAL NOTES, PROJECT INFO., SHEET INDEX, A2.0 EXISTING SITE PLAN, A3.0 PROPOSED WATER SITE PLAN, A3.1 BUILDING HEIGHT LIMITS PLAN, A4.0 SITE SECTIONS, A4.1 SITE SECTIONS, A4.2 SITE SECTIONS, A5.0 PHASE DIAGRAMS, A5.1 PHASE DIAGRAMS, A5.2 PHASE DIAGRAMS, A6.0 PRESCHOOL / ADMIN BLDG. LOWER LEVEL, A6.1 PRESCHOOL / ADMIN BLDG. UPPER LEVEL, A6.2 PRESCHOOL / ADMIN BLDG. LOWER LEVEL INT., A7.0 COMMUNITY LIFE CENTER LOWER LEVEL, A7.1 COMMUNITY LIFE CENTER UPPER LEVEL, A8.0 CHRISTIAN EDUCATION BLDGS. LOWER LEVEL, A8.1 CHRISTIAN EDUCATION BLDGS. UPPER LEVEL, A9.0 PARKING STRUCTURE FLOOR PLANS, A10.0 PRESCHOOL / ADMIN BLDG. ELEVATIONS, A11.0 COMMUNITY LIFE CENTER ELEVATIONS, A12.0 CHRISTIAN EDUCATION BLDG. ELEVATIONS, A13.0 PARKING STRUCTURE ELEVATIONS, A14.0 OVERALL ELEVATIONS - EAST & WEST, A14.1 OVERALL ELEVATIONS - NORTH & SOUTH, A15.0 SITE LIGHTING PLAN, A15.1 SITE LIGHTING PLAN, A15.2 SITE LIGHTING PLAN

PARKING @ TOTAL BUILDOUT

Table showing parking counts for different building levels: LOWER LEVEL PARKING STRUCTURE (176 SPACES), UPPER LEVEL PARKING STRUCTURE (176 SPACES), REMAINING SITE (58 SPACES), TOTAL (411 SPACES).

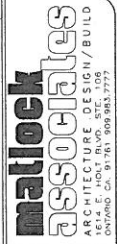
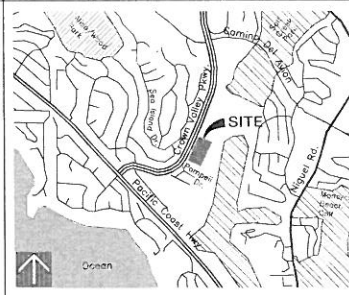
LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: THAT PORTION OF LOT 42 TOWNSHIP 8 SOUTH, RANGE 8 WEST, IN THE NUGEL RANCH, AS SHOWN ON A MAP RECORDED IN BOOK 2, PAGES 230 AND 231 OF PATENTS OF LOS ANGELES COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHEASTERLY BOUNDARY LINES OF FRANCHO NUGEL, SAID POINT BEING DISTANT NORTH 76 DEG. 00' 55" EAST 1404.84 FEET FROM THE INTERSECTION OF SAID SOUTHEASTERLY BOUNDARY LINE WITH THE CENTER LINE OF THE CALIFORNIA STATE HIGHWAY, 100.00 FEET WIDE, AS DESCRIBED IN THE DEED RECORDED AUGUST 29, 1930 IN BOOK 416, PAGE 50 OF OFFICIAL RECORDS OF SAID ORANGE COUNTY, THENCE NORTH 63 DEG. 59' 06" WEST 375.00 FEET, THENCE NORTH 26 DEG. 00' 55" EAST 696.56 FEET, THENCE SOUTH 63 DEG. 59' 06" EAST 375.00 FEET TO A POINT ON SAID SOUTHEASTERLY BOUNDARY LINE OF THE RANCHO NUGEL, THENCE SOUTH 26 DEG. 00' 55" WEST ALONG SAID SOUTHEASTERLY BOUNDARY LINE, 696.56 FEET TO THE POINT OF BEGINNING.

PROJECT DATA

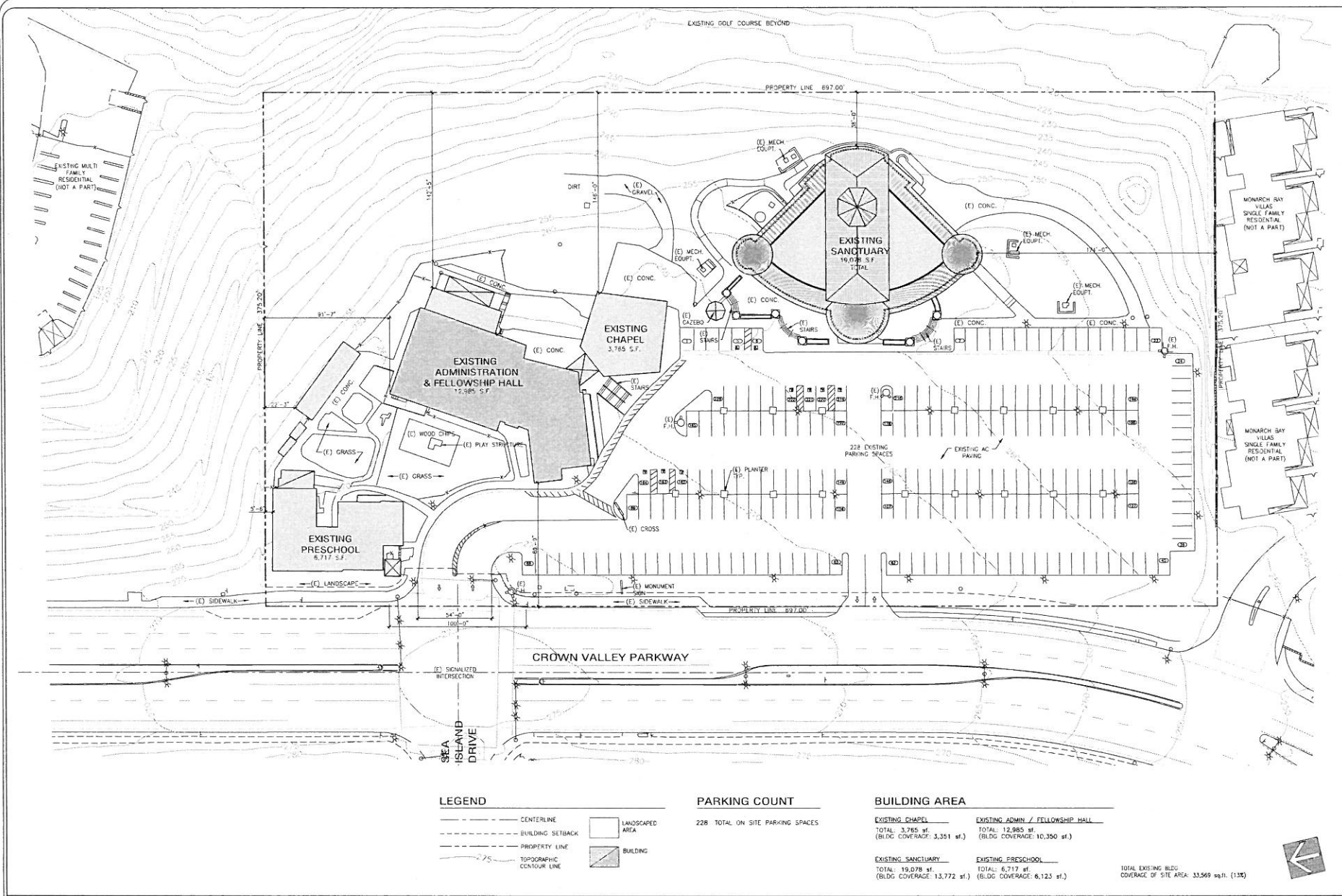
Table with project data including site area (261,497 sq ft), existing campus building area, proposed campus building area, and parking counts.

VICINITY MAP



Conditional Use Permit Submittal for: South Shores Church 32712 Crown Valley Parkway Dana Point, California 92629

Table with project information including Job No (21235), Date (APR 06 2011), Issue (REVISED), and Sheet No (A1.0).



LEGEND

— CENTERLINE	□ LANDSCAPED AREA
- - - BUILDING SETBACK	▨ BUILDING
- - - PROPERTY LINE	
~ TOPOGRAPHIC CONTOUR LINE	

PARKING COUNT
228 TOTAL ON SITE PARKING SPACES

BUILDING AREA

EXISTING CHAPEL TOTAL: 3,765 sf. (BLDG COVERAGE: 3,351 sf.)	EXISTING ADMIN / FELLOWSHIP HALL TOTAL: 12,985 sf. (BLDG COVERAGE: 10,350 sf.)
EXISTING SANCTUARY TOTAL: 19,078 sf. (BLDG COVERAGE: 13,772 sf.)	EXISTING PRESCHOOL TOTAL: 6,717 sf. (BLDG COVERAGE: 6,123 sf.)

TOTAL EXISTING BLDG COVERAGE OF SITE AREA: 33,569 sq.ft. (13%)



mallock ASSOCIATES
ARCHITECTS
1050 S. HOLLAND BLVD., SUITE 300
ONTARIO, CA 91761 909.983.7377



ARCH/ENG STAMP

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Dana Point, California 92629

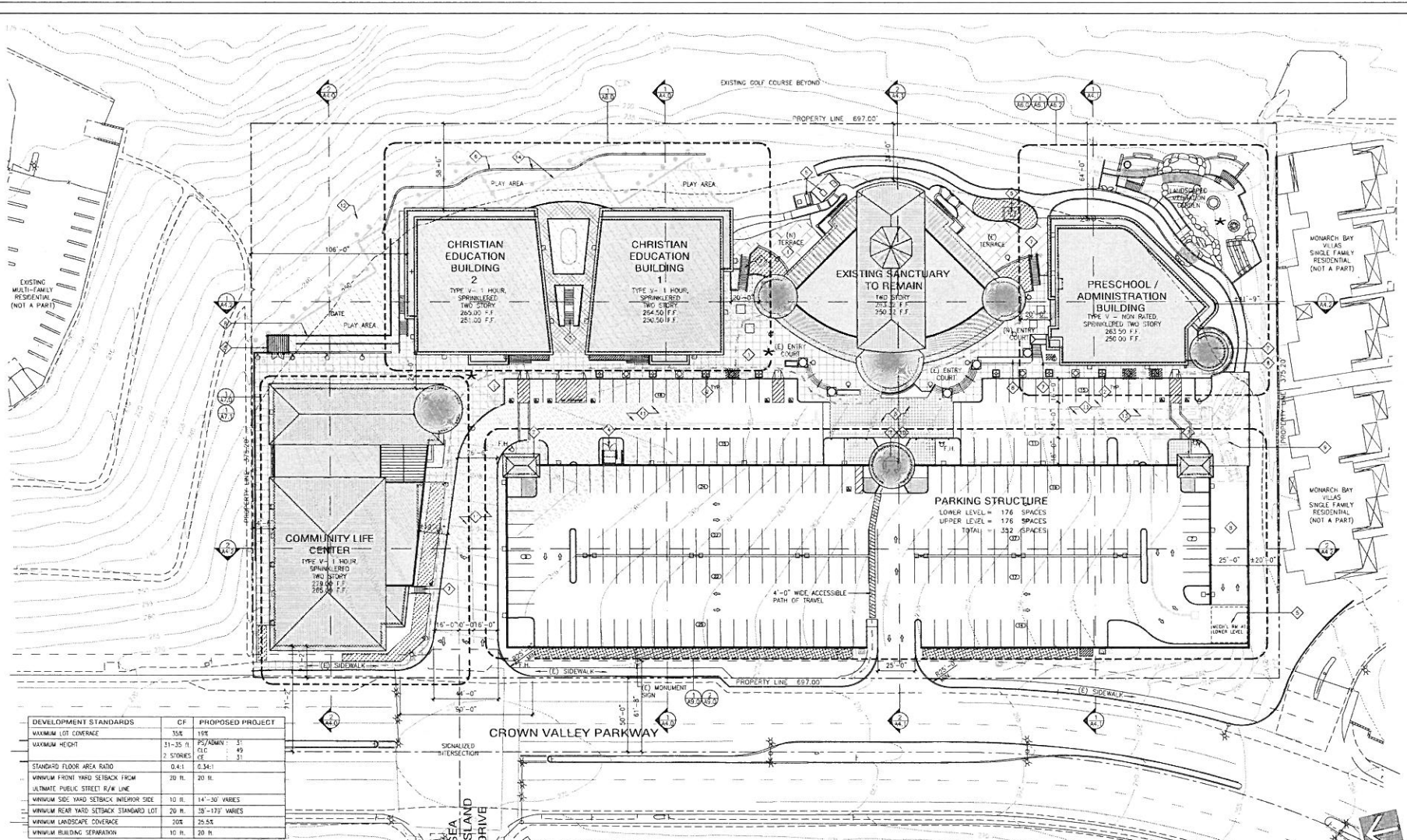
JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
APR 06 06	CLP Submittal 1
OCT 7 07	CLP Submittal 2
MAY 07 08	CLP Rejection
FEB 29 12	-
AUG 16 12	-
DEC 03 12	CLP Submittal

SHT. TITLE
EXISTING SITE PLAN

SHEET NO.

A2.0

EXISTING SITE PLAN 1/8"=30'-0" 1



DEVELOPMENT STANDARDS	CF	PROPOSED PROJECT
MINIMUM LOT COVERAGE	33%	TYPE
MAXIMUM HEIGHT	31'-35' PL	PS/ADMIN: 31'
	2 STORES	CE: 49'
STANDARD FLOOR AREA RATIO	0.4:1	0.34:1
MINIMUM FRONT YARD SETBACK FROM ULTIMATE PUBLIC STREET R/W LINE	20 FT.	20 FT.
MINIMUM SIDE YARD SETBACK INTERIOR SIDE	10 FT.	14'-30' VARIES
MINIMUM REAR YARD SETBACK STANDARD LOT	20 FT.	38'-173' VARIES
MINIMUM LANDSCAPE COVERAGE	20%	25.5%
MINIMUM BUILDING SETBACK	10 FT.	20 FT.

- KEY NOTES**
- ◆ NEW HARDCAPE
 - ◆ NEW TREE WELL
 - ◆ NEW ENHANCED PAVING
 - ◆ NEW CMU TRASH ENCLOSURE WITH WOOD TRELLIS
 - ◆ NEW MECHANICAL EQUIPMENT ENCLOSURE BELOW
 - ◆ NEW RETAINING WALL "SOIL RETENTION" PLANTABLE. STACKING WALL SYSTEM. WALL HEIGHT VARIES
 - ◆ NEW STAIRS
 - ◆ NEW RAMP
 - ◆ DCFA HAMMERHEAD
 - ◆ NEW ELEVATOR
 - ◆ AC FINISH
 - ◆ EARTHEN NATURE TRAIL, FIELD VERIFY
 - ◆ UNDERGROUND DETENTION BASIN, CONSTRUCTED PHASE 1A
 - ◆ CASSESS, REACTION WALL & TE BLOCKS BELOW GRADE

- LEGEND**
- CENTERLINE
 - BUILDING SETBACK
 - PROPERTY LINE
 - ACCESSIBLE PATH OF TRAVEL
 - TOPOGRAPHIC CONTOUR LINE
 - LANDSCAPED AREA
 - HARDCAPE
 - BUILDING
 - POLE MOUNTED AREA LIGHT
 - PEDESTRIAN AREA LIGHT
 - WALL MOUNTED AREA LIGHTS. SEE SHEET A15.0 LIGHTING PLAN FOR MORE INFORMATION
 - ★ PROPOSED LOCATION OF PUBLIC ART

- BMP'S** REFER TO CIVIL ENGINEER'S WMP EXHIBIT FOR PROPOSED BMP'S
- BORENTENTION WITH UNDERDRAIN (80-1) DOWNSPOUT PLANTER BOXES - BMP-1
 - VEGETATED SWALE (80-2) BOSWALE / DEPRESSED LANDSCAPE - BMP-2
 - PROPRIETARY 90-FILTRATION (80-3) FILTERRIA SYSTEM - BMP-3
 - STORM DRAIN

PARKING COUNT

59 ON SITE PARKING SPACES
 176 SPACES LOWER LEVEL PARKING STRUCTURE
 176 SPACES UPPER LEVEL PARKING STRUCTURE
 411 SPACES TOTAL

BUILDING AREA

BUILDING	LOWER LEVEL	UPPER LEVEL	TOTAL
PRESCHOOL/ADMIN. BLDG.	7,737 sf	7,378 sf	15,115 sf
COMMUNITY LIFE CENTER	17,331 sf	6,983 sf	24,314 sf
EXISTING SANCTUARY	9,140 sf	9,938 sf	19,078 sf
CHRISTIAN EDUCATION BUILDING 1	7,674 sf	7,723 sf	15,397 sf
CHRISTIAN EDUCATION BUILDING 2	7,750 sf	7,706 sf	15,456 sf
PROPOSED BLDG. COVERAGE OF SITE AREA: 54,254 sq.ft. (20%)			

PROPOSED MASTER SITE PLAN 1/4"=30'-0"

matlock associates
 ARCHITECTURE DESIGN / BUILD
 1614 E. HOUST. BLVD., STE. 104
 DANA POINT, CA 92629
 (949) 943-7777



Conditional Use Permit Submitter for:
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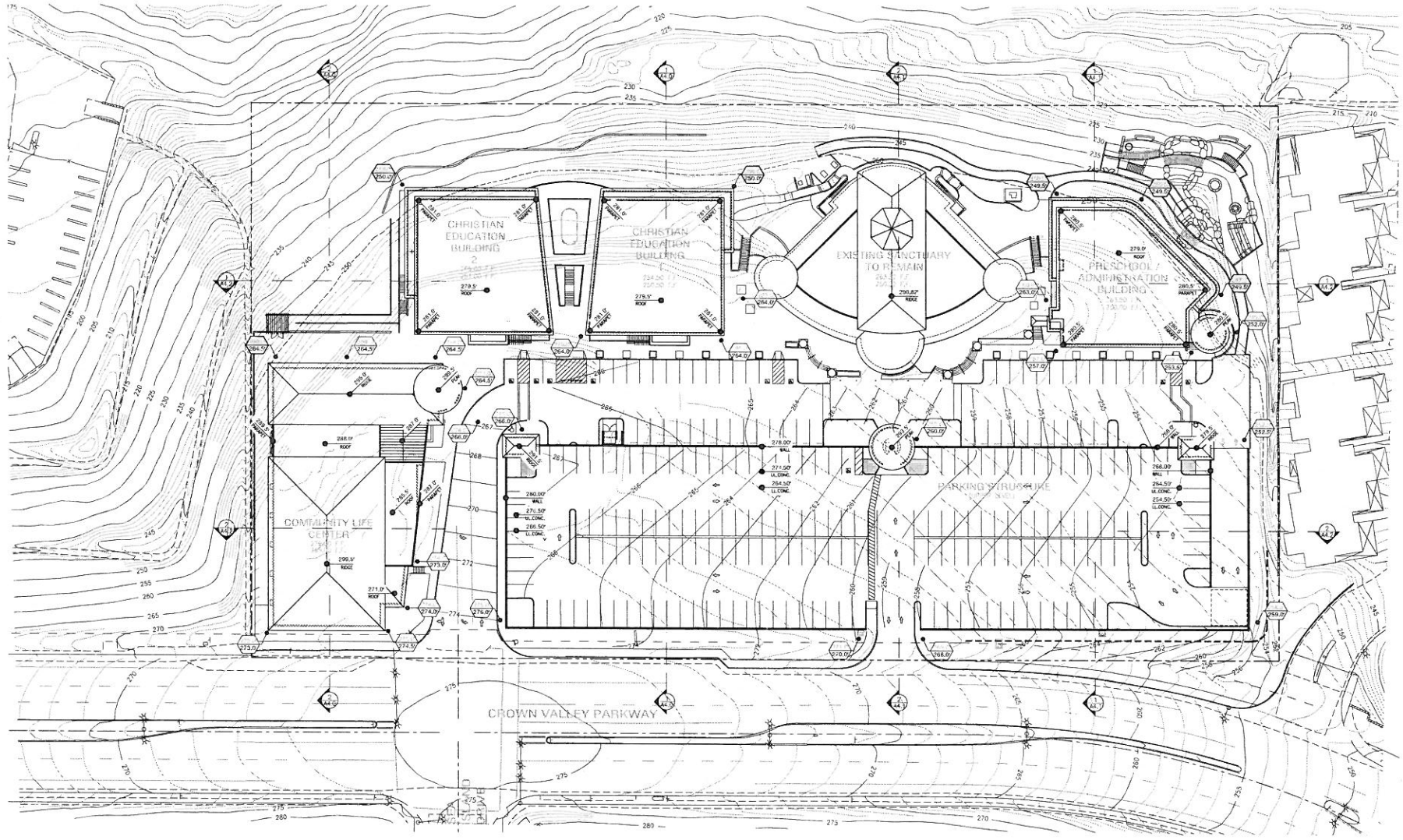
JOB NO. 12125

DATE

DATE	ISSUE
APR 06 06	CIP Submittal 1
OCT 07 07	CIP Submittal 2
MAY 01 08	CIP Revision
FEB 29 12	-
AUG 16 12	-
DEC 03 12	CIP Submittal

PROPOSED MASTER SITE PLAN

SHEET NO. A3.0



LEGEND

- PROPERTY LINE
- TOPOGRAPHIC CONTOUR LINE
- (EXISTING) W/GRAB
- (NEW) W/GRAB
- INDICATES LOWEST GRADE FROM WHICH BLDG HT DETERMINED
- BLDG. ELEVATION LOCATION



BUILDING HEIGHT COMPLIANCE EXHIBIT - SITE PLAN

1"=30'

Client Files\South Shores Church\1235 - South Shores Church_C.U.P.\Architectural\AutoCad\C.U.P. - DESIGN_CUP_Submittal 3

nallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1614 E. HOLY BLVD., STE. 105
 DANA POINT, CA 92629



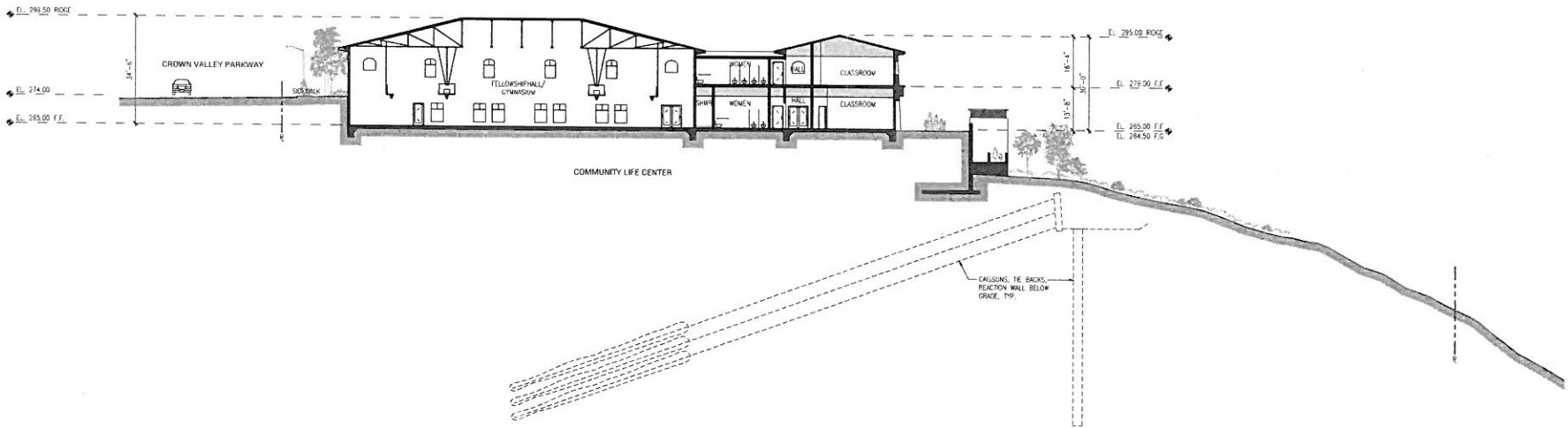
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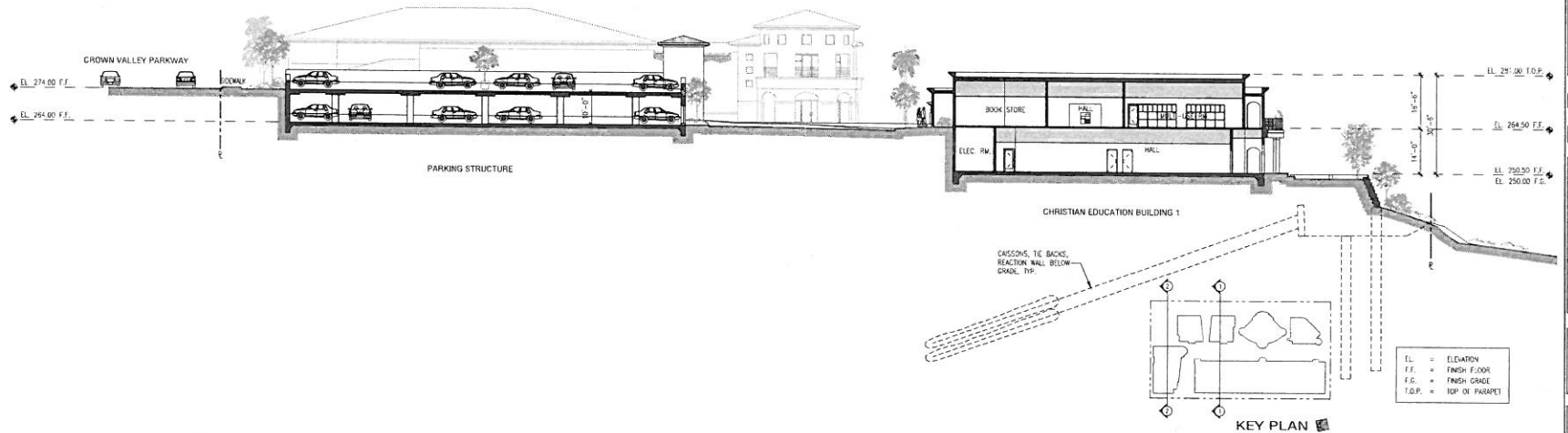
JOB NO.	21235
DRW/CHK'D	SL/AM
DATE	ISSUE
APR 06 06	CIP Submittal 1
OCT 07 07	CIP Submittal 2
MAY 01 08	CIP Revision
FEB 26 12	-
AUG 16 12	-
DEC 03 17	CIP Submittal 3

SHT. TITLE
BUILDING HEIGHT LIMITS
 SHEET NO.

A3.1



Site Section thru Community Life Center 1/16"=1'-0" 2



Site Section thru Parking Structure & Christian Education Building 1/16"=1'-0" 1

mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 6531 HILLS BLVD., STE. 050
 DANA POINT, CA 92629
 (949) 259-7777



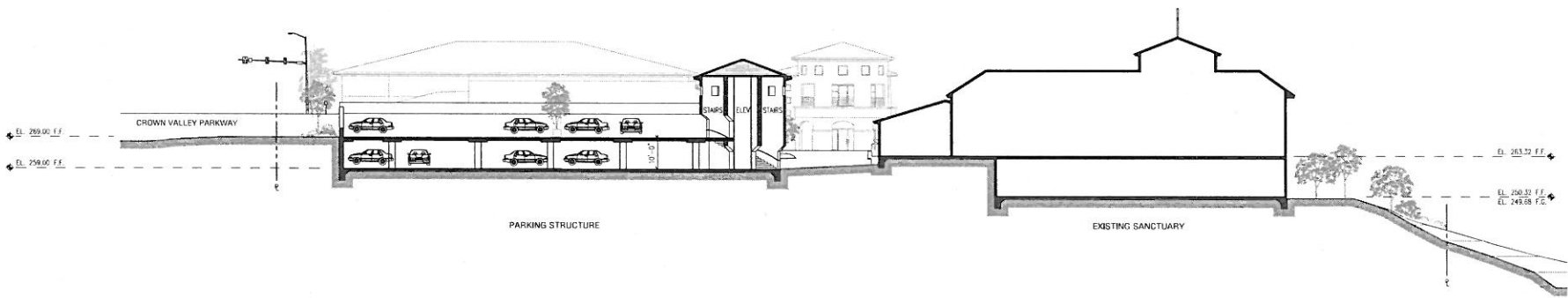
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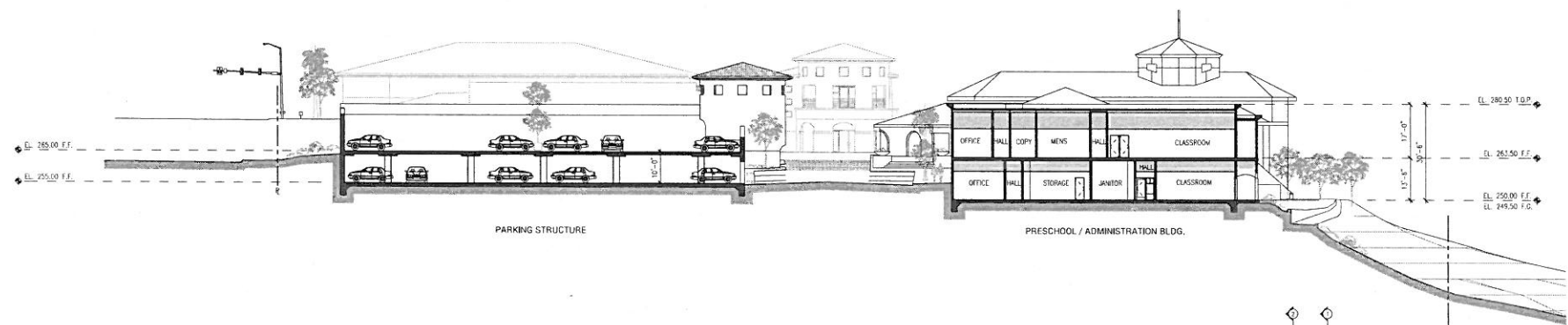
JOB NO.	21235
DRN/CHD	SL/AM
DATE	2012
APR. 06.00	DIS. Submittal 1
OCT. 7.07	DIS. Submittal 2
MAY. 01.08	DIS. Revision
FEB. 29.12	-
AUG. 16.12	-
DEC. 03.12	DIS. Submittal

SHT. TITLE
SITE SECTIONS
 SHEET NO.

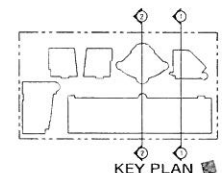
A4.0



Site Section thru Parking Structure & Existing Sanctuary 1/16"=1'-0" 2



Site Section thru Parking Structure & Preschool / Administration Bldg. 1/16"=1'-0" 1



EL = ELEVATION
 FF = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET

Mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1614 E. HOLY BLVD., STE. 108
 SANTA ANA, CA 92705-1777



ARCH/ENG STAMP

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MAY 07 08	CUP Revision
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AUG 16 12	-
DEC 03 12	CUP Submittal

SHT. TITLE

SITE SECTIONS

SHEET NO.

A4.1



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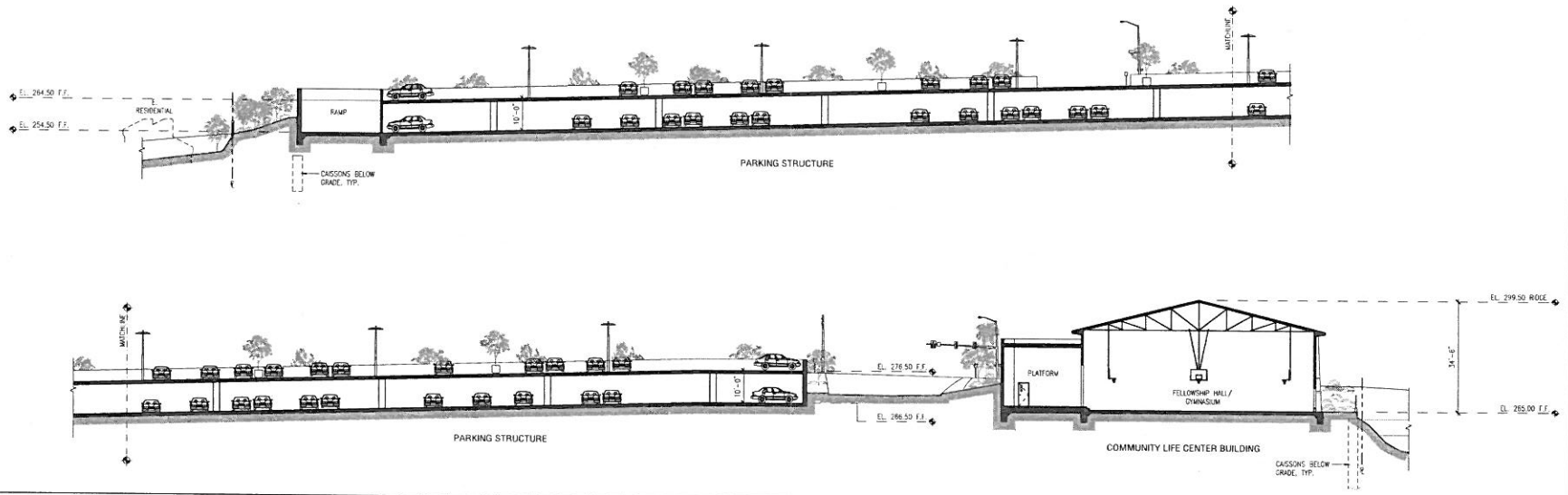
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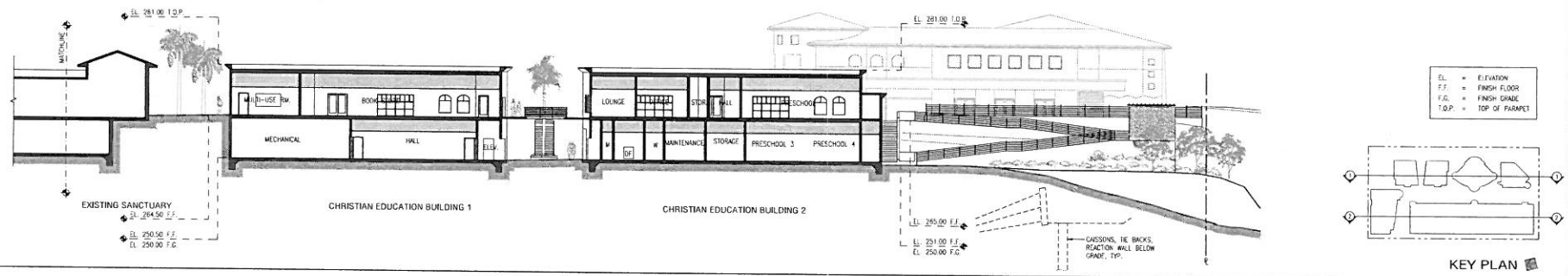
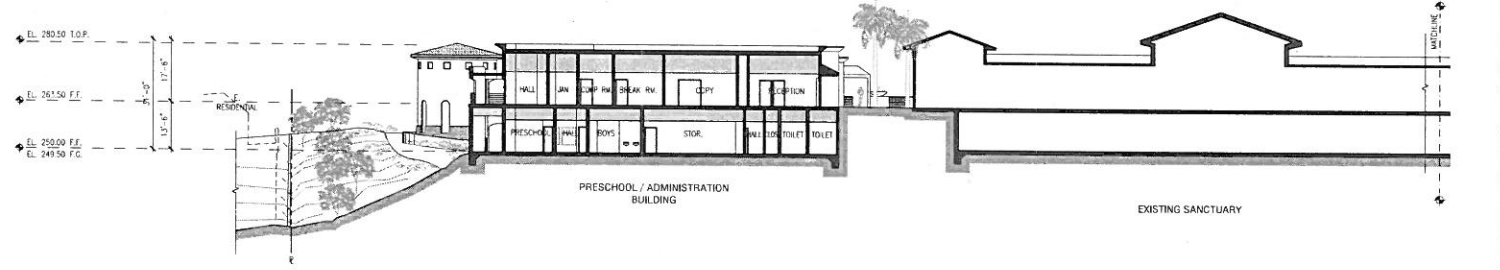
DATE	ISSUE
APR 18, 06	CDP Submittal 1
OCT 7, 07	CDP Submittal 2
MAY 01, 08	CDP Revision
FEB 29, 12	-
AUG 16, 12	-
DEC 03, 12	CDP Submittal 3

SHT. TITLE
SITE SECTIONS

SHEET NO.
A4.2

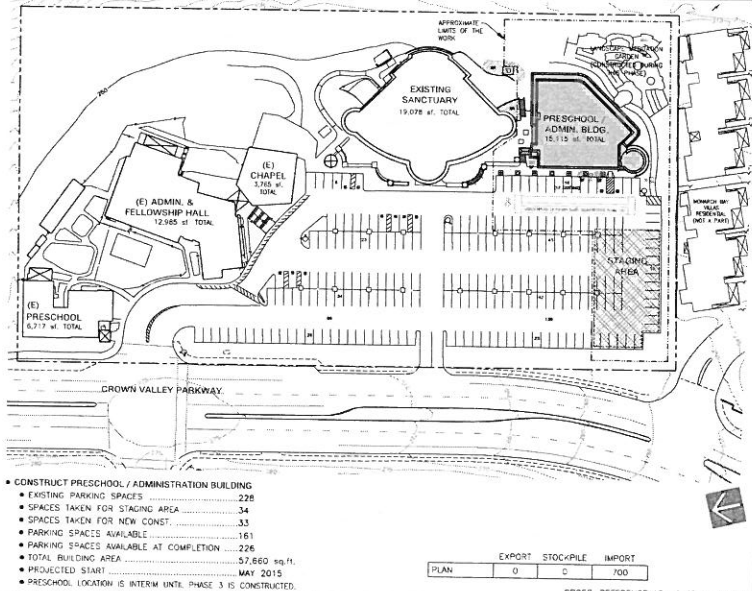


Site Section thru Community Life Center & Parking Structure 1/16"=1'-0" 2



Site Section thru Preschool / Administration Bldg., Existing Sanctuary & Christian Education Bldg. 1/16"=1'-0" 1

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OF THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SWALE
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SH1433 AND DRINGS BY ADAMS-STREETER, CIVIL ENGINEERS.

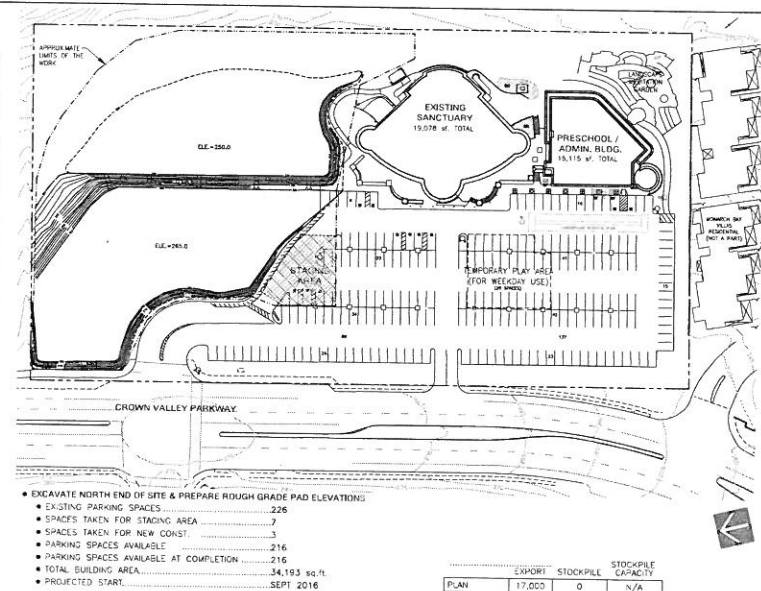


CONSTRUCT PRESCHOOL / ADMINISTRATION BUILDING

EXISTING PARKING SPACES	228
SPACES TAKEN FOR STAGING AREA	34
SPACES TAKEN FOR NEW CONST.	3
PARKING SPACES AVAILABLE	161
PARKING SPACES AVAILABLE AT COMPLETION	226
TOTAL BUILDING AREA	57,860 sq ft
PROJECTED START	MAY 2015
PRESCHOOL LOCATION IS INTERIM UNTIL PHASE 3 IS CONSTRUCTED.	

Construct New Preschool / Administration Bldg. - Phase 1A 1"=60'-0" 1

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OF THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SWALE
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SH1433 AND DRINGS BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.

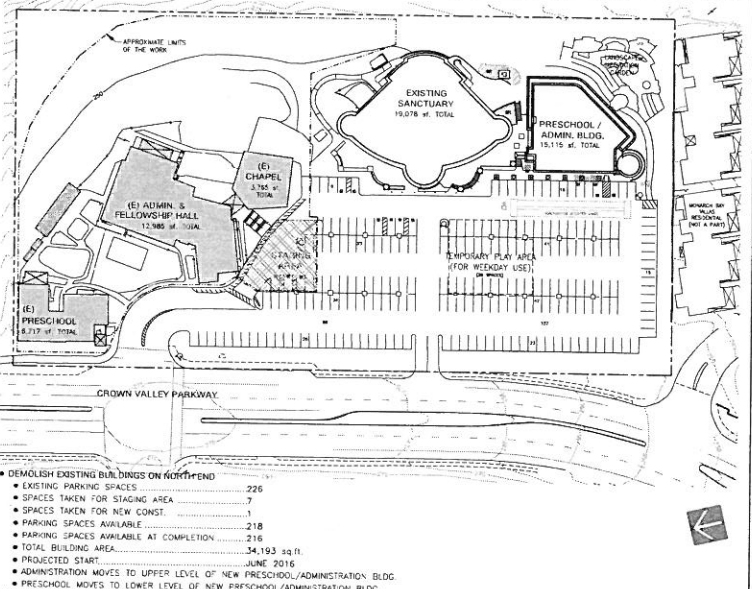


EXCAVATE NORTH END OF SITE & PREPARE ROUGH GRADE PAD ELEVATIONS

EXISTING PARKING SPACES	228
SPACES TAKEN FOR STAGING AREA	3
SPACES TAKEN FOR NEW CONST.	3
PARKING SPACES AVAILABLE	216
PARKING SPACES AVAILABLE AT COMPLETION	216
TOTAL BUILDING AREA	34,193 sq ft
PROJECTED START	SEPT 2016

Earthwork North End of Site - PHASE 1B.E1 1"=60'-0" 3

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OF THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
 BS - BIO-SWALE
 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SH1433 AND DRINGS BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.

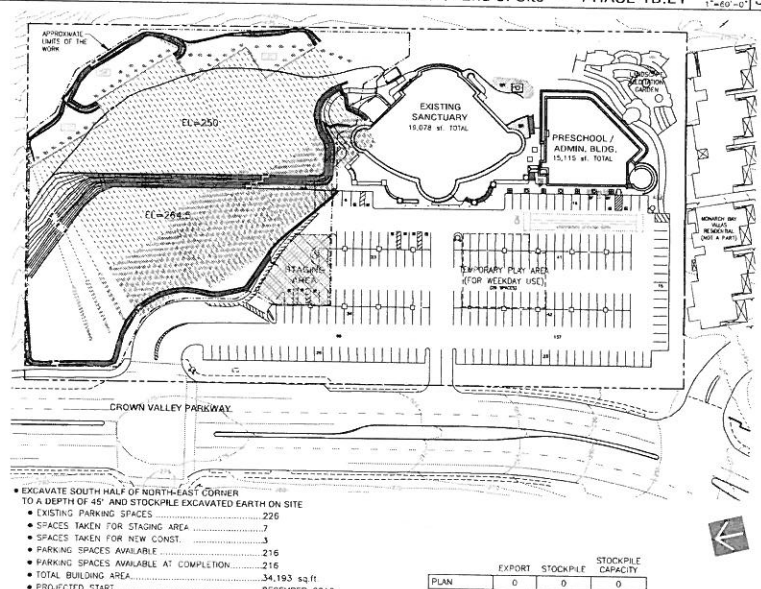


DEMOLISH EXISTING BUILDINGS ON NORTH END

EXISTING PARKING SPACES	226
SPACES TAKEN FOR STAGING AREA	7
SPACES TAKEN FOR NEW CONST.	1
PARKING SPACES AVAILABLE	218
PARKING SPACES AVAILABLE AT COMPLETION	216
TOTAL BUILDING AREA	34,193 sq ft
PROJECTED START	JUNE 2016
ADMINISTRATION MOVES TO UPPER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.	
PRESCHOOL MOVES TO LOWER LEVEL OF NEW PRESCHOOL/ADMINISTRATION BLDG.	

Demolition of Existing Buildings - Phase 1B 1"=60'-0" 2

GENERAL NOTES:
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AISLE(S) CREATED BY THE STAGING AREAS OF THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs:
 BR - BIO-RETENTION AREA
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 BF - BIO-FILTRATION
 SD - STORM DRAIN
 FOR MORE DETAIL REGARDING BMP'S REFER TO SH1433 AND DRINGS BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



EXCAVATE SOUTH HALF OF NORTH-EAST CORNER TO A DEPTH OF 48" AND STOCKPILE EXCAVATED EARTH ON SITE

EXISTING PARKING SPACES	226
SPACES TAKEN FOR STAGING AREA	3
SPACES TAKEN FOR NEW CONST.	3
PARKING SPACES AVAILABLE	216
PARKING SPACES AVAILABLE AT COMPLETION	216
TOTAL BUILDING AREA	34,193 sq ft
PROJECTED START	DECEMBER 2016

Remedial Earthwork North End of Site - PHASE 1B.E2 1"=60'-0" 4

matlock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 10141 E. POINT BLVD., STE. 100
 DANA POINT, CALIFORNIA 92629

REGISTERED ARCHITECT
 THOMAS S. MATLOCK
 C-10418
 EX-5-31-15
 STATE OF CALIFORNIA
 ARCH/ENG. STAMP

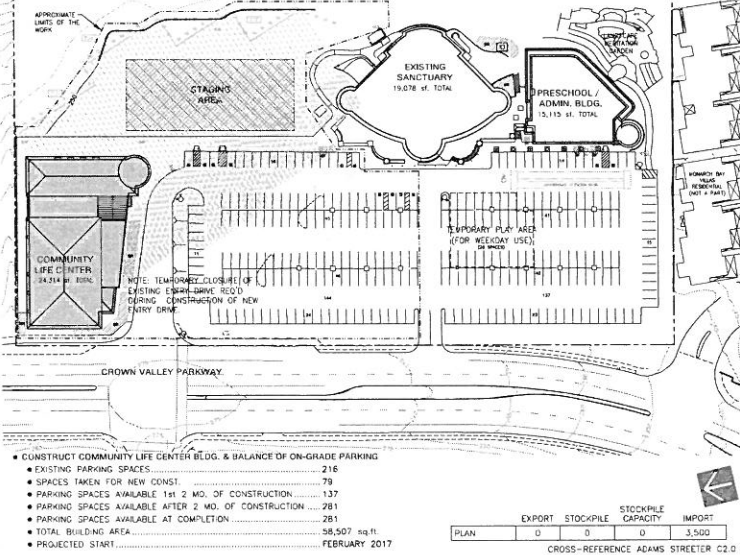
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OCT 7 07	ESP Submittal 2
MAY 01 08	ESP Revision
FEB 26 12	
AUG 16 12	
DEC 03 12	ESP Submittal
SHT. TITLE	
PHASE DIAGRAMS	
SHEET NO.	

A5.0

GENERAL NOTES:

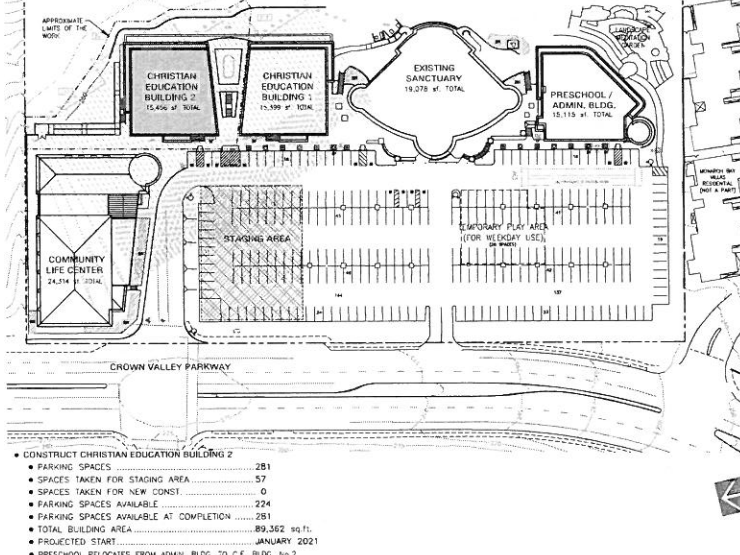
- ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING ASILE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BUMPS: BR - BIO-RETENTION AREA BS - BIO-SWALE BF - BIO-FILTRATION SD - STORM DRAIN FOR MORE DETAIL REGARDING BUMP'S REFER TO SHT. A5.0 AND DRWG'S BY ADAMS-STREETER, CIVIL ENGINEERS.
- TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



Earthwork / Construct New Community Life Center Bldg. PHASE 1C 1"=60'-0" 1

GENERAL NOTES:

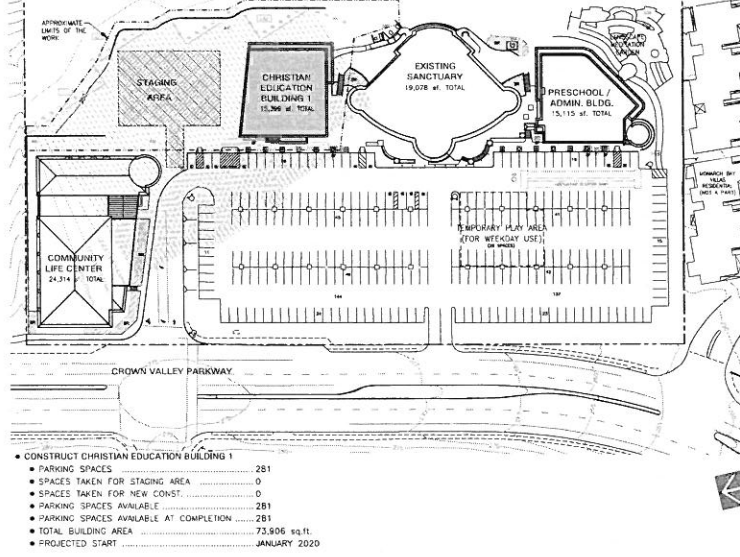
- ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING ASILE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BUMPS: BR - BIO-RETENTION AREA BS - BIO-SWALE BF - BIO-FILTRATION SD - STORM DRAIN FOR MORE DETAIL REGARDING BUMP'S REFER TO SHT. A5.0 AND DRWG'S BY ADAMS-STREETER, CIVIL ENGINEERS.
- TEMPORARY PLAY AREA WILL BE "IN PLACE" MONDAY THRU FRIDAY & WILL BE "REMOVED" FOR PARKING AVAILABILITY ON SATURDAY & SUNDAY.



Construct New Christian Education Bldg. 2 - Phase 3 1"=60'-0" 3

GENERAL NOTES:

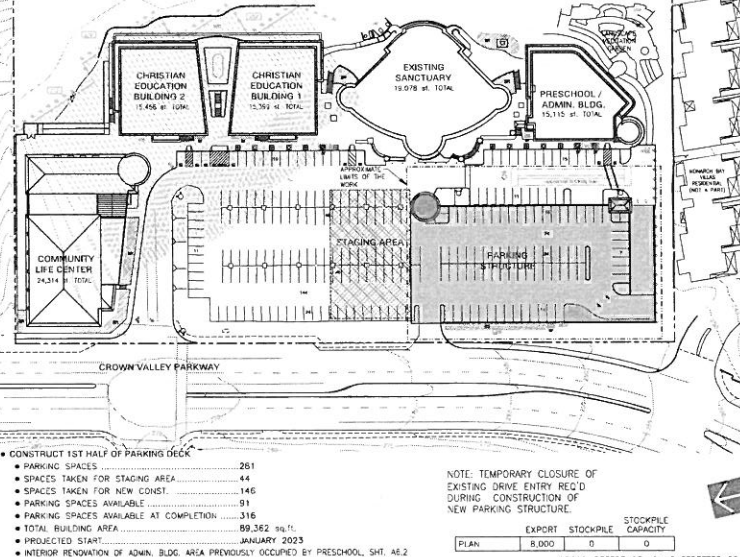
- ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING ASILE(S) CREATED BY THE STAGING AREAS OR THE PRE-SCHOOL. TEMPORARY PLAY AREA SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BUMPS: BR - BIO-RETENTION AREA BS - BIO-SWALE BF - BIO-FILTRATION SD - STORM DRAIN FOR MORE DETAIL REGARDING BUMP'S REFER TO SHT. A5.0 AND DRWG'S BY ADAMS-STREETER, CIVIL ENGINEERS.
- PARKING TO BE ACCOMMODATED WITH OFFICE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



Construct New Christian Education Bldg. 1 - Phase 2 1"=60'-0" 2

GENERAL NOTES:

- ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING ASILE(S) CREATED BY THE STAGING AREAS SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
- PROPOSED BUMPS: BR - BIO-RETENTION AREA BS - BIO-SWALE BF - BIO-FILTRATION SD - STORM DRAIN FOR MORE DETAIL REGARDING BUMP'S REFER TO SHT. A5.0 AND DRWG'S BY ADAMS-STREETER, CIVIL ENGINEERS.
- PARKING TO BE ACCOMMODATED WITH OFFICE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



Construct South Half of Parking Structure - Phase 4 1"=60'-0" 4

matlock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1614 E. HOCT BLVD., STE. 106
 ONYAH, CA. 91761 909.953.1777



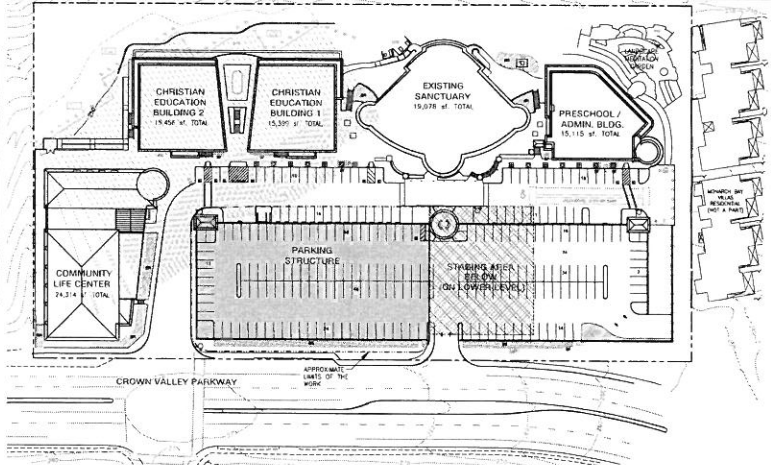
Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
Drawn/Checked	SL/AM
DATE	
ISSUE	
APR. 06.06	CIP Submittal 1
OCT. 7.07	CIP Submittal 2
MAY. 01.08	CIP Revision
FEB. 26.12	
AUG. 16.12	
DEC. 03.12	CIP Submittal

SHT. TITLE
PHASE DIAGRAMS

SHEET NO.
A5.1

GENERAL NOTES
 1. ADJUSTMENTS IN THE FENCING WILL BE MADE, AS NECESSARY, FOR ANY DEAD-END PARKING AREAS CREATED BY THE STAGING AREAS SHOWN TO ALLOW FOR PROPER VEHICULAR OPERATION AND THE SAFE USE OF PARKING SPACES.
 2. PROPOSED BMPs: BR - BIO-RETENTION AREA; BS - BIO-SWALE; BF - BIO-FILTRATION; SD - STORM DRAIN. FOR MORE DETAIL REGARDING BMP'S REFER TO SHT AS.0 AND DRAWING BY ADAMS-STREETER, CIVIL ENGINEERS.
 3. PARKING TO BE ACCOMMODATED WITH OFFSITE AGREEMENTS FOR SATELLITE PARKING LOTS AND SHUTTLES.



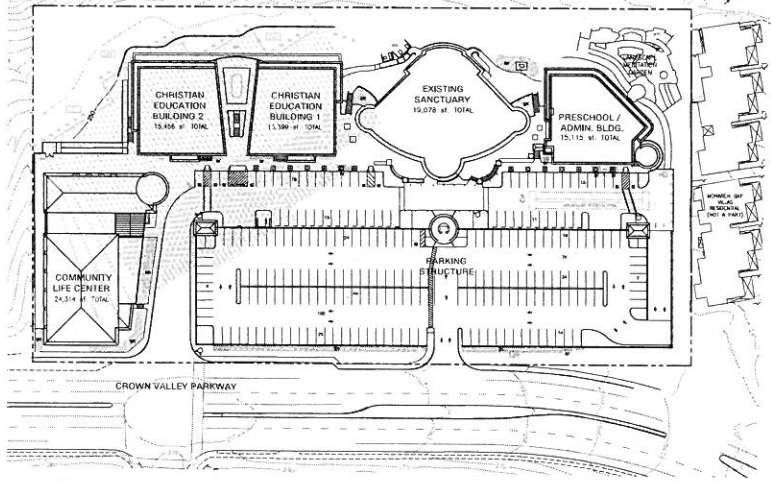
• CONSTRUCT 2ND HALF OF PARKING DECK

• PARKING SPACES	318
• SPACES TAKEN FOR STAGING AREA	49
• SPACES TAKEN FOR NEW CONST.	117
• PARKING SPACES AVAILABLE	150
• PARKING SPACES AVAILABLE AT COMPLETION	411
• TOTAL BUILDING AREA	89,362 sq.ft.
• PROJECTED START	JANUARY 2024

CROSS-REFERENCE ADAMS STREETER C2.0

PLAN	5,500	0	0
EXPORT	STOCKPILE	STOCKPILE	CAPACITY

Construct North Half of Parking Structure - Phase 5 1"=60'-0" 1



• COMPLETION

• ON SITE PARKING SPACES DRIVE AISLE	59
• SPACES LOWER FLOOR PARKING STRUCTURE	176
• SPACES UPPER FLOOR PARKING STRUCTURE	176
• PARKING SPACES AVAILABLE AT COMPLETION	411
• TOTAL BUILDING AREA	89,362 sq.ft.
• PROJECTED COMPLETION	JANUARY 2025

Master Plan - Completion 1"=60'-0" 2

Mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1000 S. GARDEN ST., SUITE 100
 DANA POINT, CA 92629



ARCH/ENG STAMP

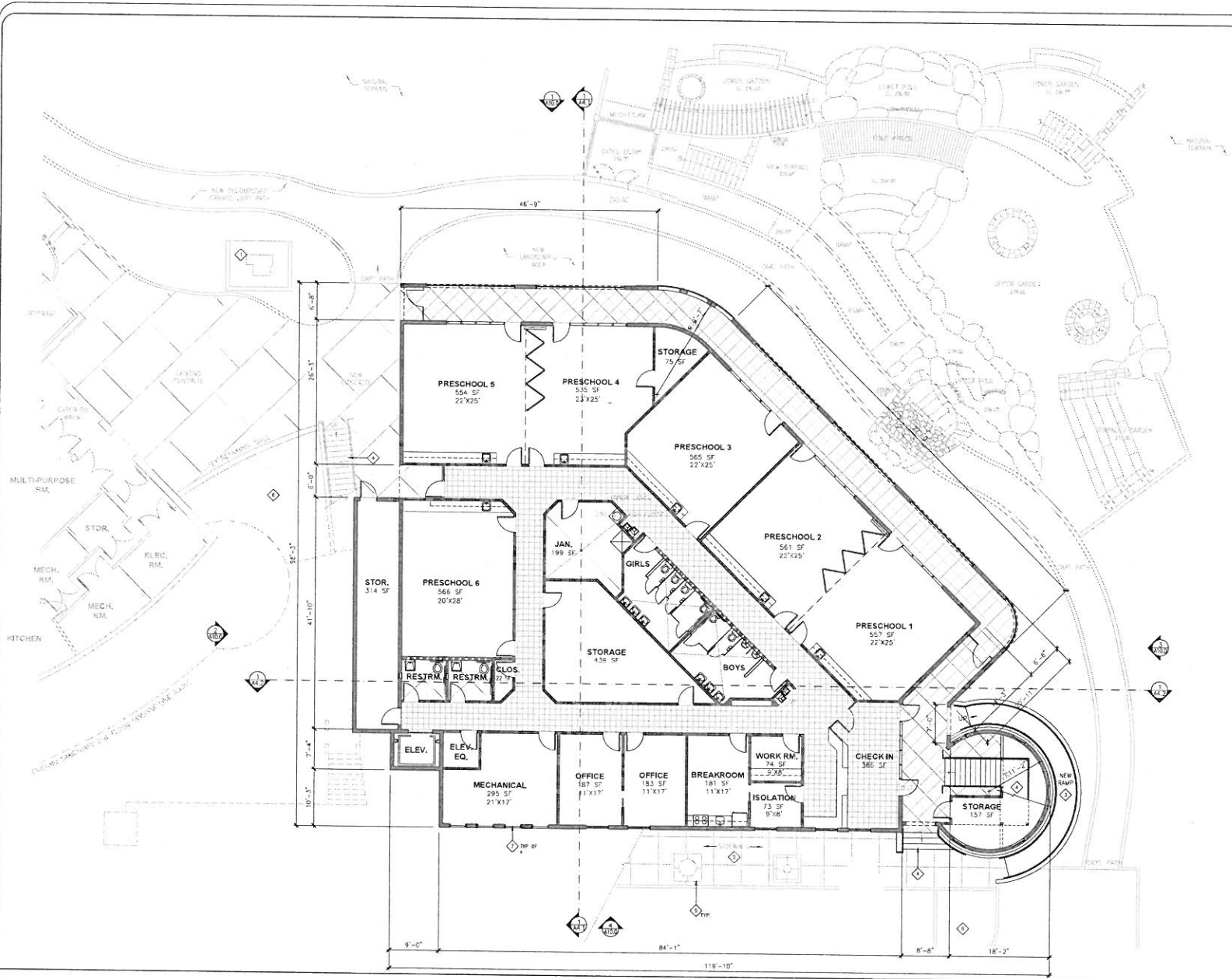
Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
APR 06 06	CUP Submittal 1
OCT 7 07	CUP Submittal 2
MAY 01 08	CUP Revision
FEB 29 12	-
AUG 16 12	-
DEC 03 12	CUP Submittal

PHASE DIAGRAMS

SHEET NO.

A5.2

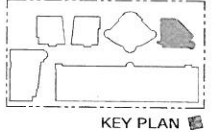


- KEY NOTES**
- ◇ RELOCATED MECHANICAL EQ. ENCLOSURE
 - ◇ NEW HARDSCAPE
 - ◇ ACCESSIBLE RAMP
 - ◇ NEW STAIRS
 - ◇ NEW TREE WELL
 - ◇ PLANTER
 - ◇ LOWERED VENTS

AREA

LOWER LEVEL	7,737 sf.
UPPER LEVEL	7,378 sf.
TOTAL	15,115 sf.

- LEGEND**
- BUILDING SETBACK
 - - - - - PROPERTY LINE
 - [Hatched Box] LANDSCAPED AREA
 - [Grid Box] HARDSCAPE



matlock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1814 E. ACOLT BLVD., STE. 106
 SUNNYVALE, CA 91781 950.953.7777



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32719 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRW/CHK'D
SL/AM

DATE	ISSUE
APR 04 09	CIP Submittal 1
OCT 17 07	CIP Submittal 2
MAY 01 08	CIP Revision
FEB 28 12	-
AUG 16 12	-
DEC 03 17	CIP Submittal

SHT. TITLE

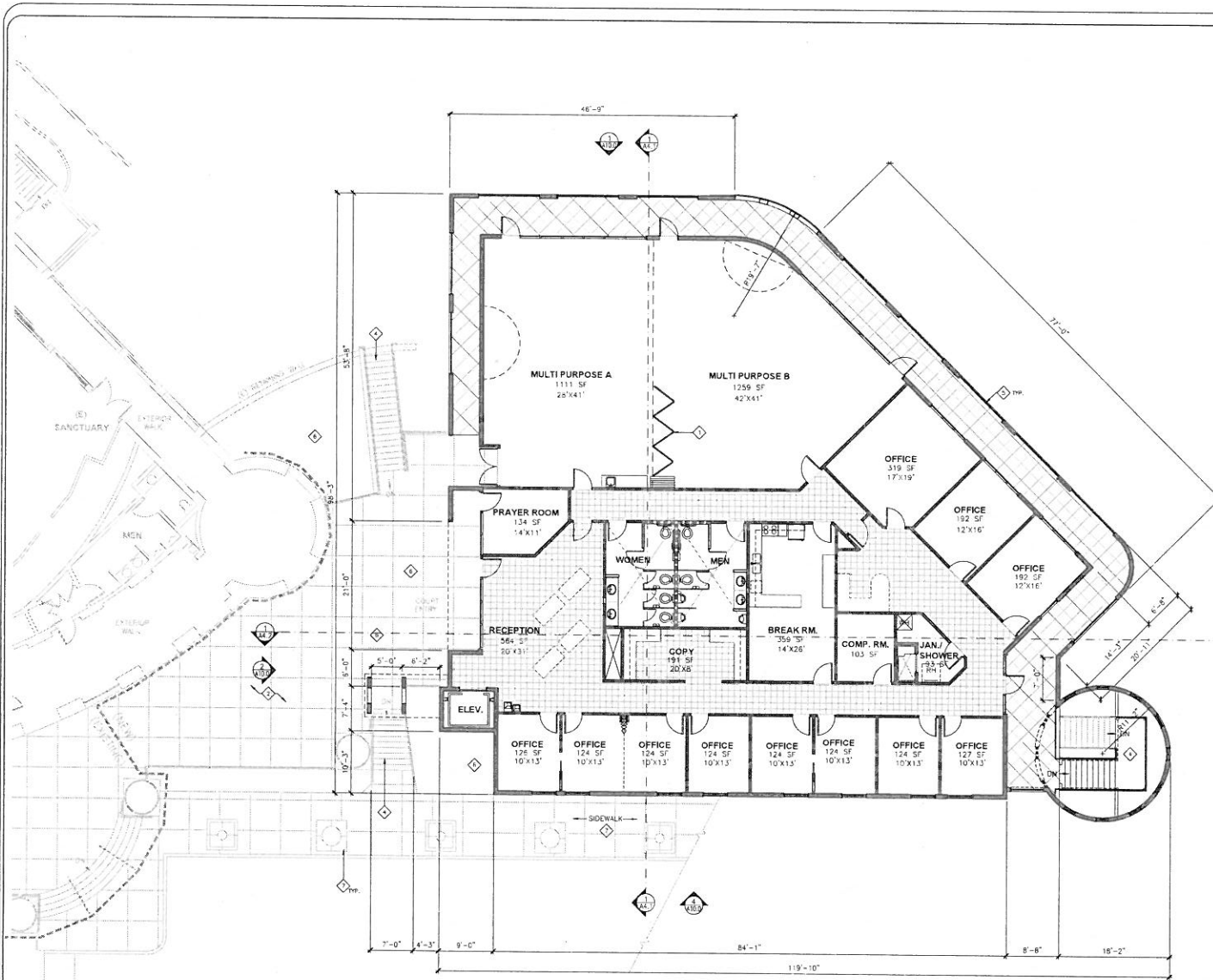
PRESCHOOL / ADMIN. BLDG. LOWER LEVEL

SHEET NO.

A6.0

PRESCHOOL / ADMINISTRATION BUILDING - LOWER LEVEL 1/8"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church_C.U.P.\Architectural\AutoCad\C.U.P. - DESIGN_C.U.P. Submittal 3



KEY NOTES

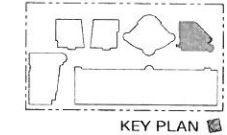
- ◇ MOVEABLE PARTITION
- ◇ NEW HARDSCAPE
- ◇ ACCESSIBLE RAMP
- ◇ STAIRS
- ◇ HANDRAIL
- ◇ PLANTER
- ◇ NEW TREE WELL

AREA

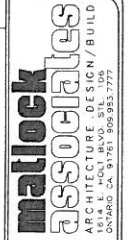
LOWER LEVEL	7,737	sf.
UPPER LEVEL	7,378	sf.
TOTAL:	15,115	sf.

LEGEND

- - - BUILDING SETBACK
- - - PROPERTY LINE
- LANDSCAPED AREA
- ▨ HARDSCAPE



KEY PLAN



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRWN/CHK'D
SL/AM

DATE	ISSUE
APR 06 08	CDP Submittal 1
OCT 7 07	CDP Submittal 2
MAY 01 08	CDP Revisions
FEB 29 12	-
AUG 16 12	-
DEC 03 17	CDP Submittal

SHT. TITLE

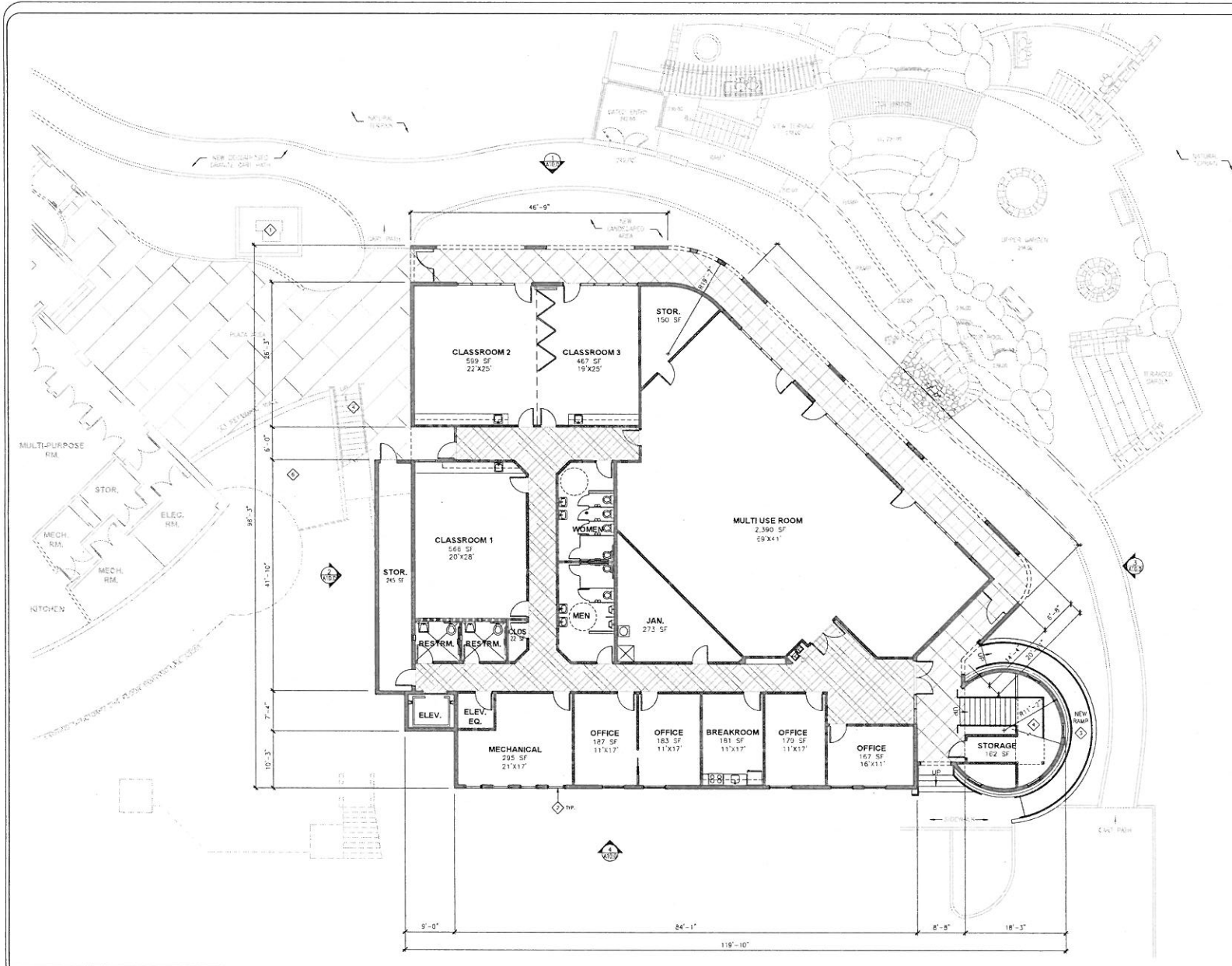
PRESCHOOL /
ADMIN. BLDG.
UPPER LEVEL

SHEET NO.

A6.1

PRESCHOOL / ADMINISTRATION BUILDING - UPPER LEVEL 1/8"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church_C.U.P.\Architectural\AutoCad\C.U.P. - DESIGN_CUP Submittal 3

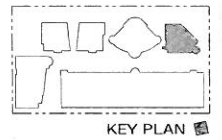


- KEY NOTES**
- ◆ RELOCATED MECHANICAL EQ. ENCLOSURE
 - ◆ LOWVERED VENTS
 - ◆ ACCESSIBLE RAMP
 - ◆ NEW STAIRS
 - ◆ NEW TREE WELL
 - ◆ PLANTER

AREA

LOWER LEVEL 7,737 sf.
 UPPER LEVEL 7,376 sf.
 TOTAL 15,115 sf.

- LEGEND**
- BUILDING SETBACK
 - PROPERTY LINE
 - LANDSCAPED AREA
 - ▨ HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1614 S. HOLT BLVD., SUITE 300
 ONTARIO, CA 91761 909-993-7777



ARCH/ENG STAMP

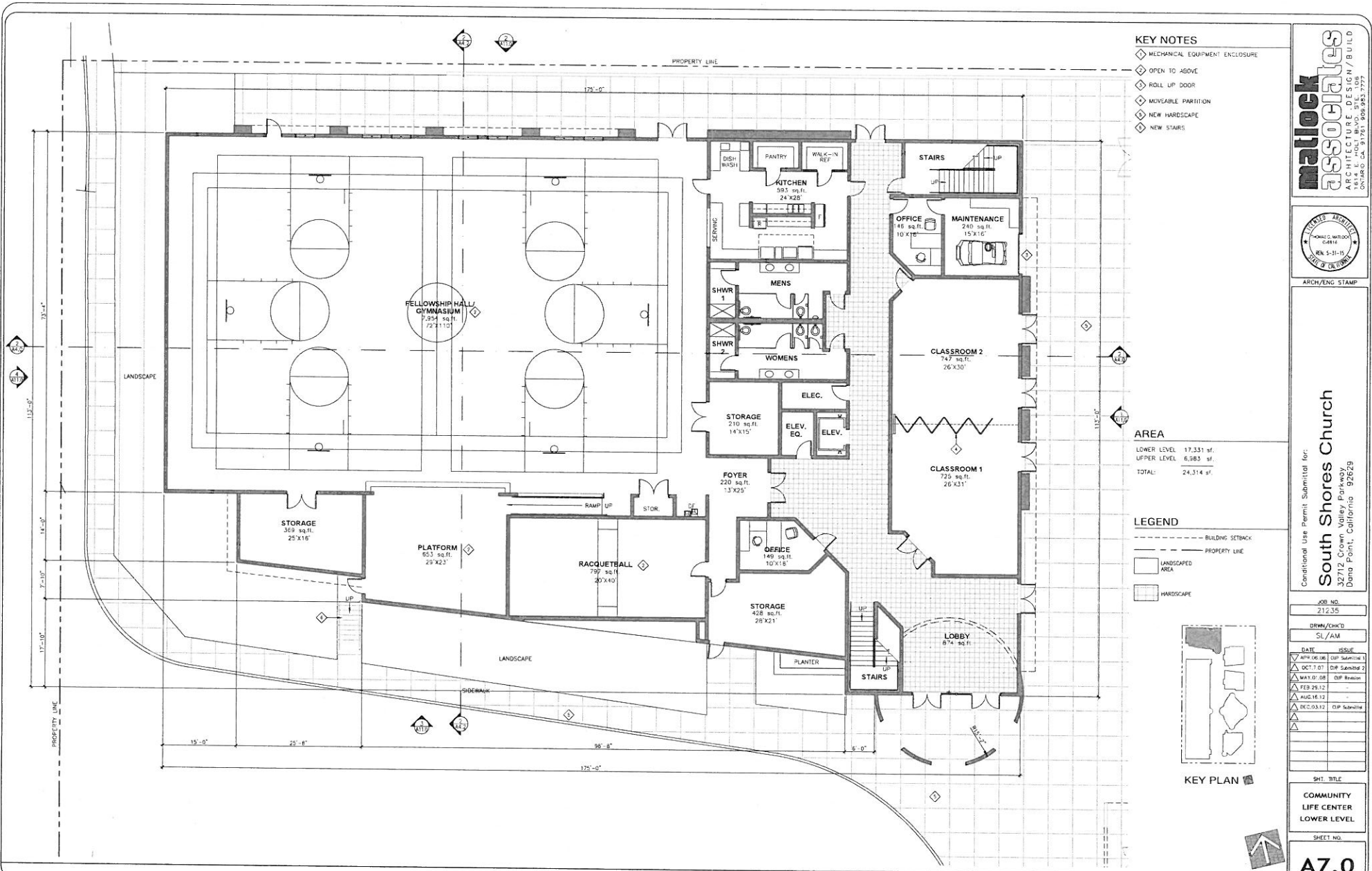
Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRW/CHECK'D	SL/AM
DATE	1/8/12
APR 06 06	OSP Submittal 1
OCT 7 07	OSP Submittal 2
MAY 01 08	OSP Revision
FEB 28 12	-
MAR 16 12	-
DEC 03 12	OSP Submittal

SHT. TITLE
PRESCHOOL / ADMIN. BLDG. LOWER LEVEL RENOVATION

SHEET NO.

A6.2

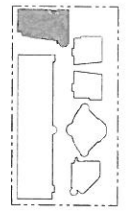


- KEY NOTES**
- ◇ MECHANICAL EQUIPMENT ENCLOSURE
 - ◇ OPEN TO ABOVE
 - ◇ ROLL UP DOOR
 - ◇ MOVABLE PARTITION
 - ◇ NEW HARDSCAPE
 - ◇ NEW STAIRS

AREA

LOWER LEVEL	17,331 sf.
UPPER LEVEL	6,283 sf.
TOTAL:	24,314 sf.

- LEGEND**
- BUILDING SETBACK
 - - - - - PROPERTY LINE
 - LANDSCAPED AREA
 - HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE . DESIGN / BUILD
 1804 E. CHILI BLVD., STE. 1008
 DENVER, CO. 80202, 303.953.7727



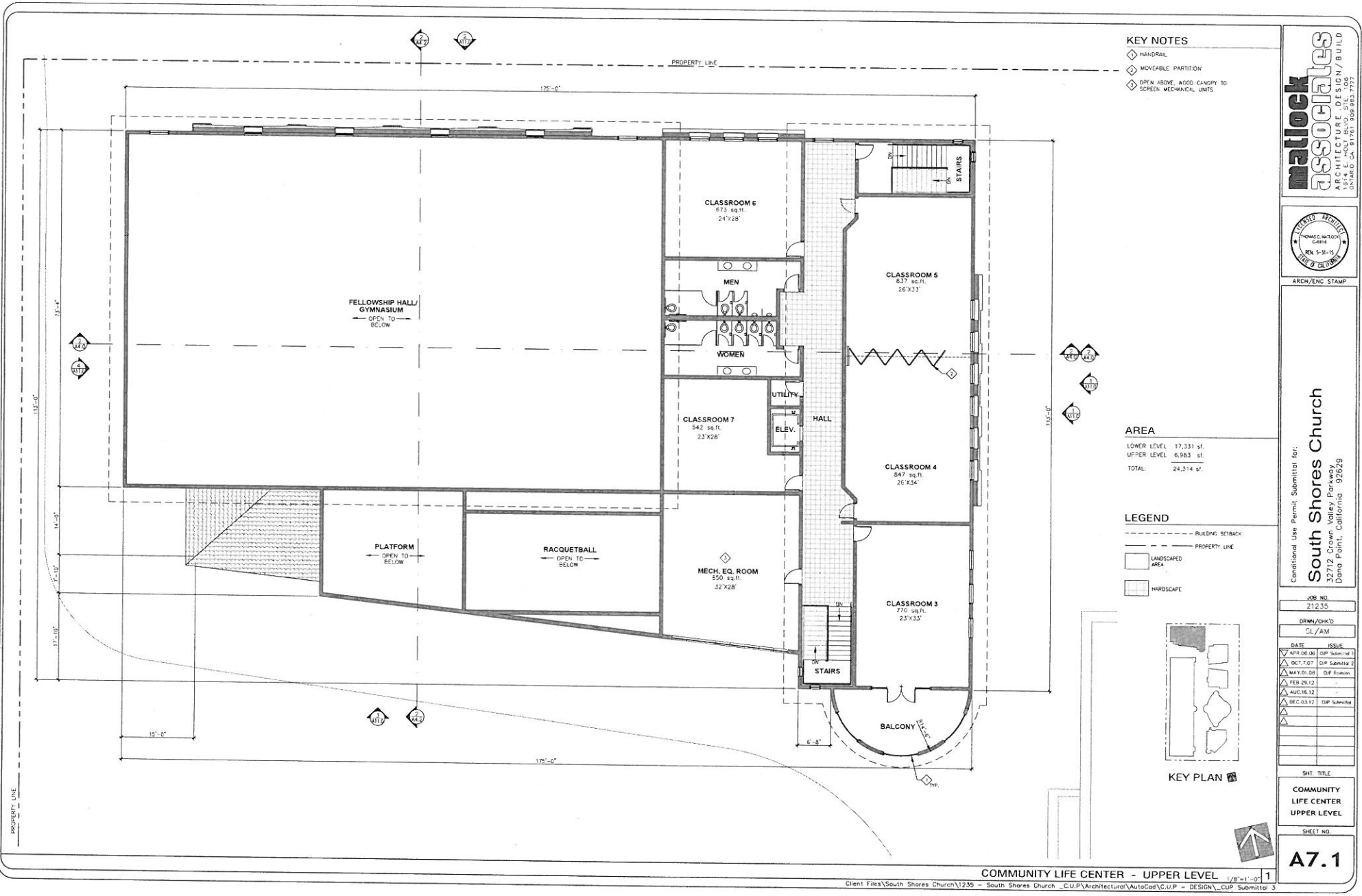
Arch/Eng Stamp
 Conditional Use Permit Submittal for:
South Shores Church
 32712 Crane Valley Parkway
 Dana Point, California 92629

JOB NO.	212.35
DRWN/CHK'D	SL/AM
DATE	ISSUE
▲ APR 06 09	CP Submittal
▲ OCT 17 07	CP Submittal
▲ MAY 07 08	CP Revision
▲ FEB 29 12	
▲ AUG 16 12	
▲ DEC 03 12	CP Submittal

SHT. TITLE
COMMUNITY LIFE CENTER LOWER LEVEL

SHEET NO.
A7.0

COMMUNITY LIFE CENTER - LOWER LEVEL 1/8"=1'-0" 1



KEY NOTES

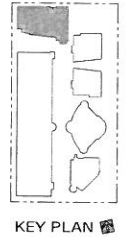
- ◇ HANDRAIL
- ◇ MOVEABLE PARTITION
- ◇ OPEN ABOVE, WOOD CANOPY TO SCREEN MECHANICAL UNITS

AREA

LOWER LEVEL 17,331 sf.
 UPPER LEVEL 6,963 sf.
 TOTAL 24,294 sf.

LEGEND

- BUILDING SETBACK
- - - - - PROPERTY LINE
- LANDSCAPED AREA
- ▨ HARDSCAPE



matlock ASSOCIATES
 ARCHITECTURE / INTERIOR DESIGN / BUILD
 ONYARD, CA 91761 909 853 7777



ARCH/ENG STAMP

Conditional Use Permit, Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

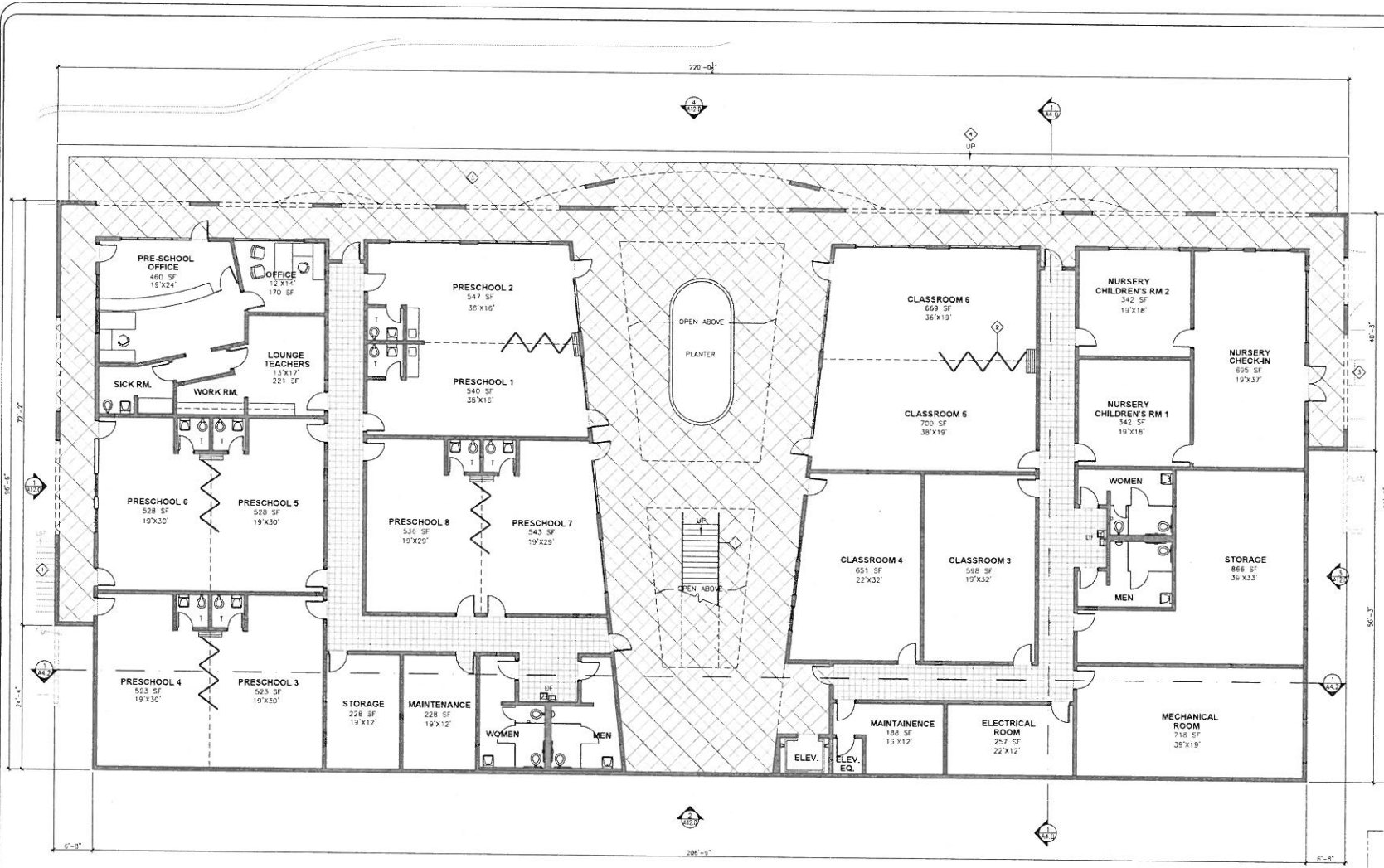
JOB NO.	212,355
DRWN/CHK'D	CL/AM
DATE	ISSUE
APR 06 08	CIP Submittal 1
MAY 17 07	CIP Submittal 2
MAY 20 08	CIP Revision
FEB 29 12	
AUG 16 12	
M.E.C. 03 12	CIP Submittal

SHT. TITLE
COMMUNITY LIFE CENTER UPPER LEVEL
 SHEET NO.

A7.1

COMMUNITY LIFE CENTER - UPPER LEVEL 1/8"=1'-0" 1

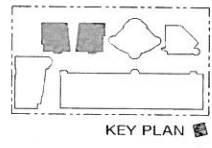
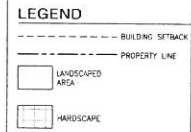
Client Files\South Shores Church\1235 - South Shores Church - C.U.P.\Architectural\AutoCad\U.P. - DESIGN\CUP Submittal 3



- KEY NOTES**
- ◇ NEW STAIRS
 - ◇ MOVEABLE PARTITION
 - ◇ NEW HARDSCAPE
 - ◇ STEPS

AREA

BUILDING 1	
LOWER LEVEL	7,674 sf.
UPPER LEVEL	7,725 sf.
	15,399 sf.
BUILDING 2	
LOWER LEVEL	7,750 sf.
UPPER LEVEL	7,706 sf.
	15,456 sf.
TOTAL:	30,855 sf.



matlock ASSOCIATES
 ARCHITECTURE, DESIGN & BUILD
 10000 BAYVIEW
 CARRIS
 85 S. H. 15
 SUITE 100
 DENVER, CO 80231
 303.755.7775



ARCH/ENG STAMP

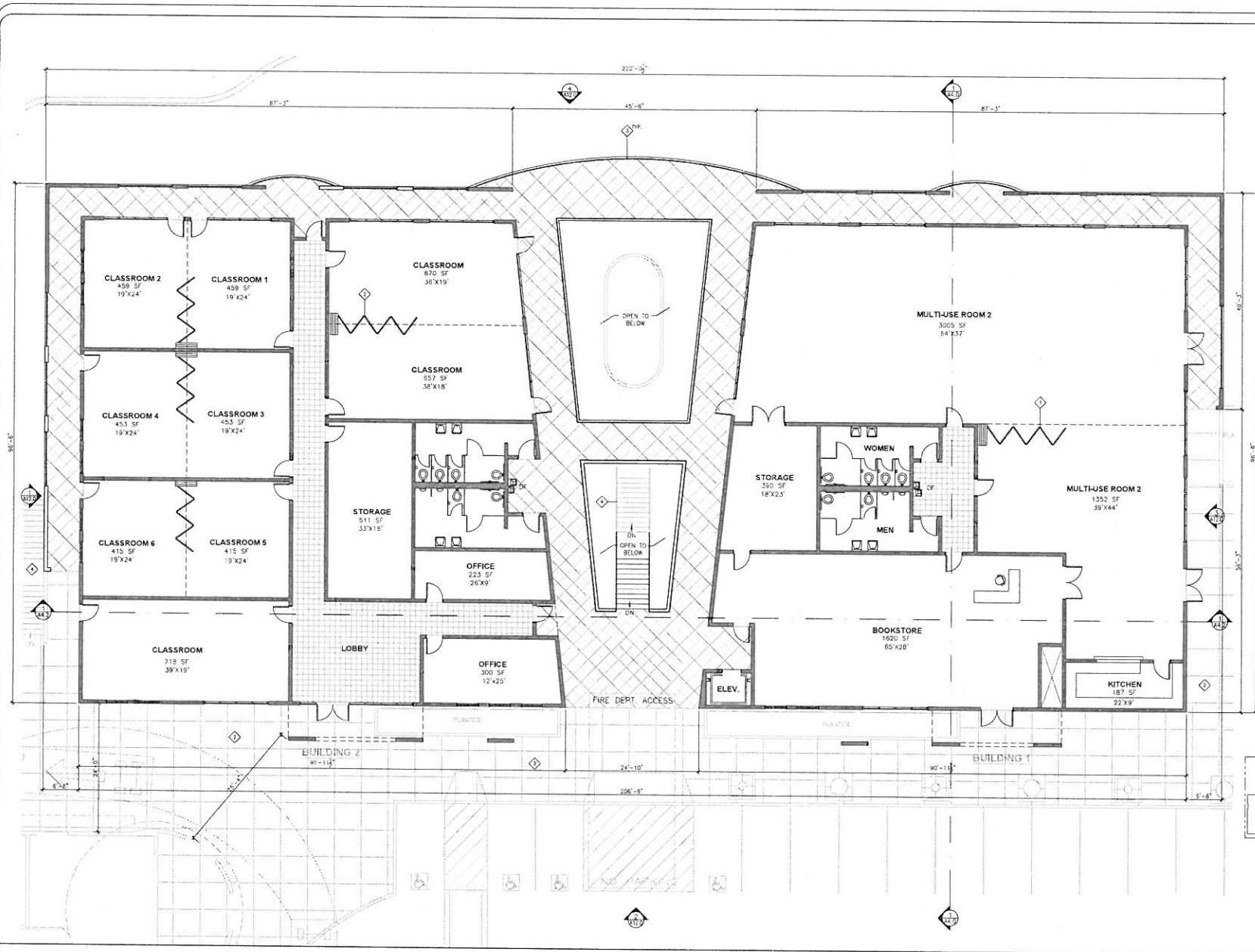
Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
Drawn/Checked	SL/AM
DATE	ISSUE
▲ APR 06 09	01P Submittal 1
▲ OCT 1 07	01P Submittal 2
▲ MAY 01 08	01P Submittal
▲ FEB 29 12	-
▲ AUG 16 12	-
▲ DEC 03 12	01P Submittal

SHT. TITLE
CHRISTIAN EDUCATION BLDG. LOWER LEVEL.
 SHEET NO.

A8.0

CHRISTIAN EDUCATION BUILDING - LOWER LEVEL 1/8"=1'-0" 1

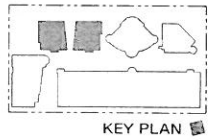


- KEY NOTES**
- ◇ MOVEABLE PARTITION
 - ◇ NEW HARDSCAPE
 - ◇ HANDRAIL
 - ◇ NEW STAIRS

AREA

BUILDING 1	
LOWER LEVEL	7,674 sf.
UPPER LEVEL	7,725 sf.
	15,399 sf.
BUILDING 2	
LOWER LEVEL	7,750 sf.
UPPER LEVEL	7,706 sf.
	15,456 sf.
TOTAL:	30,855 sf.

- LEGEND**
- BUILDING SETBACK
 - - - - - PROPERTY LINE
 - ▭ LANDSCAPED AREA
 - ▨ HARDSCAPE



mallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 10344 HOLLY BLVD., SUITE 3709
 DANA POINT, CA 92629



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

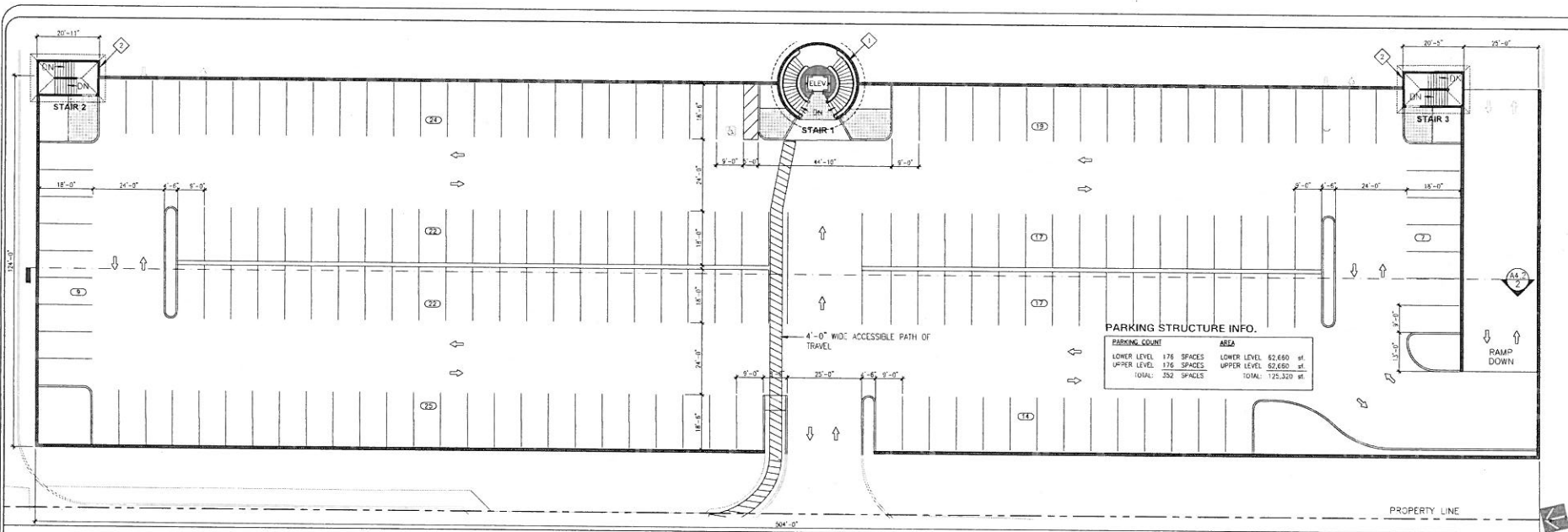
JOB NO.	21235
DRWY/CHK'D	SL/AM
DATE	ISSUE
▲ APR-08-08	QIP Submittal
▲ OCT-7-07	QIP Submittal 2
▲ MAY-01-06	QIP Revision
▲ FEB-26-12	-
▲ AUG-16-12	-
▲ DEC-03-12	QIP Submittal

SHT TITLE
CHRISTIAN EDUCATION BLDG. UPPER LEVEL

SHEET NO.
A8.1

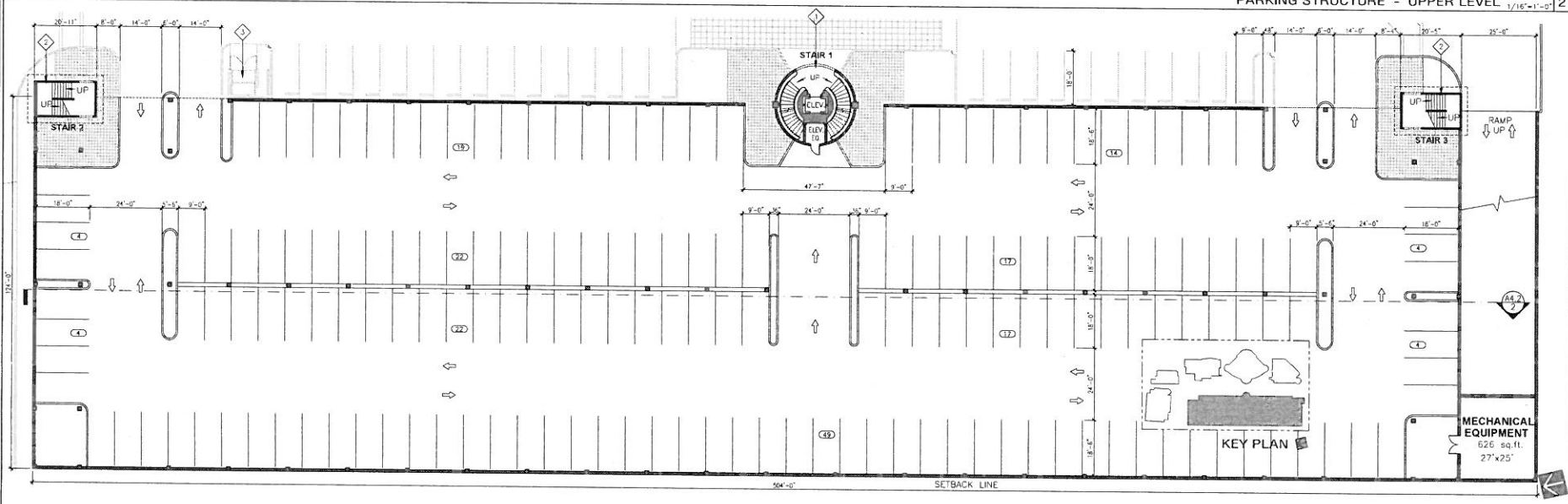
CHRISTIAN EDUCATION BUILDING - UPPER LEVEL 1/8"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church _C.U.P\Architectural\AutoCad\C.U.P. - DESIGN\CUP Submittal 3



PARKING STRUCTURE INFO.

PARKING COUNT		AREA	
LOWER LEVEL	176 SPACES	LOWER LEVEL	82,680 sq. ft.
UPPER LEVEL	176 SPACES	UPPER LEVEL	82,680 sq. ft.
TOTAL	352 SPACES	TOTAL	125,320 sq. ft.



matlock ASSOCIATES
 ARCHITECTURE, DESIGN / BUILD
 10000 WILSON AVENUE
 DANA POINT, CA 92629
 949.343.7777



ARCH/ENG STAMP

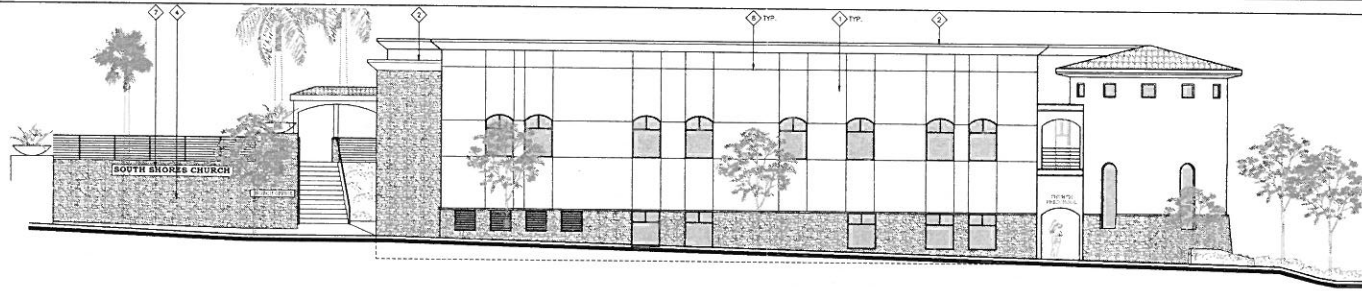
Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DATE/ISSUE	SL / AM
DATE	ISSUE
APR 16, 2013	CIP Submittal 1
OCT 7, 2013	CIP Submittal 2
MAY 01, 2014	CIP Revision
FEB 28, 2012	
6/16/12	Final CIP Submittal
DEC 03, 12	CIP Submittal
SHT. TITLE	
PARKING STRUCTURE FLOOR PLANS	
SHEET NO.	

A9.0

PARKING STRUCTURE - LOWER LEVEL 1/16"=1'-0" 1

Client Files\South Shores Church\1235 - South Shores Church_C.U.P\Architectural\AutoCad\C.U.P - DESIGN_CIP Submittal 3



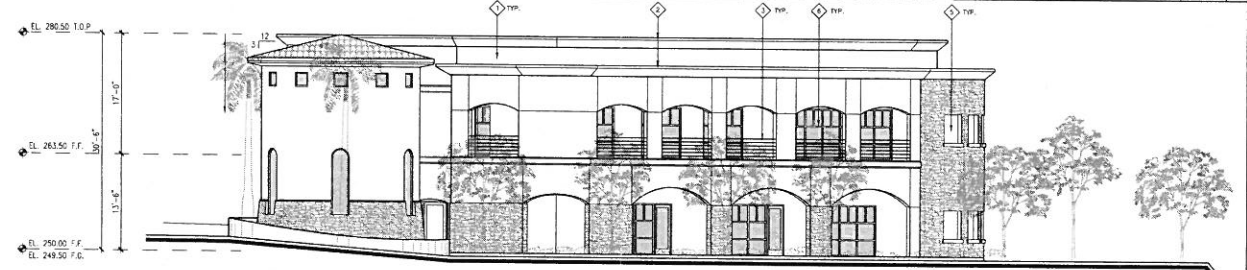
- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
 - ◇ PARAPET ROOF
 - ◇ HANDRAIL
 - ◇ RETAINING WALL
 - ◇ OPENING THRU WALL
 - ◇ ALUMINUM WINDOW SYSTEM
 - ◇ SIGNAGE UNDER SEPARATE PERMIT
 - ◇ CONTROL JOINT REVEAL

mallock ASSOCIATES
 ARCHITECTURE, DESIGN / BUILD
 1614 E. HOLT BLVD., STE. 105
 DANFORTH, CA 94526, PH: 925/7527273



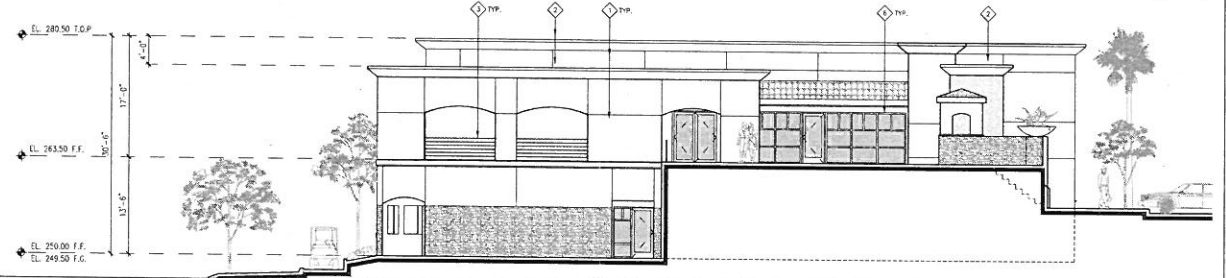
ARCH/ENG STAMP

West Elevation - Preschool / Administration 1/8"=1'-0" 4

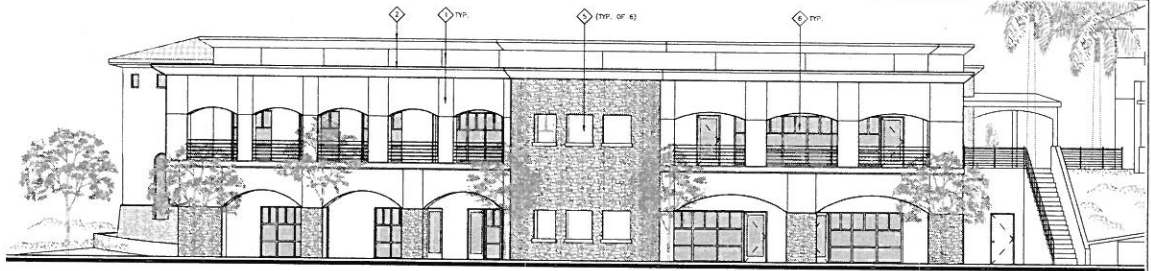


- LEGEND**
- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
 - CULTURED STONE BY "EL DORADO" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
 - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY
- E.L. = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET

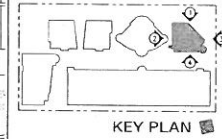
South Elevation - Preschool / Administration 1/8"=1'-0" 3



North Elevation - Preschool / Administration 1/8"=1'-0" 2



East Elevation - Preschool / Administration 1/8"=1'-0" 1



Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21215

DRW/CHK'D
SL/AM

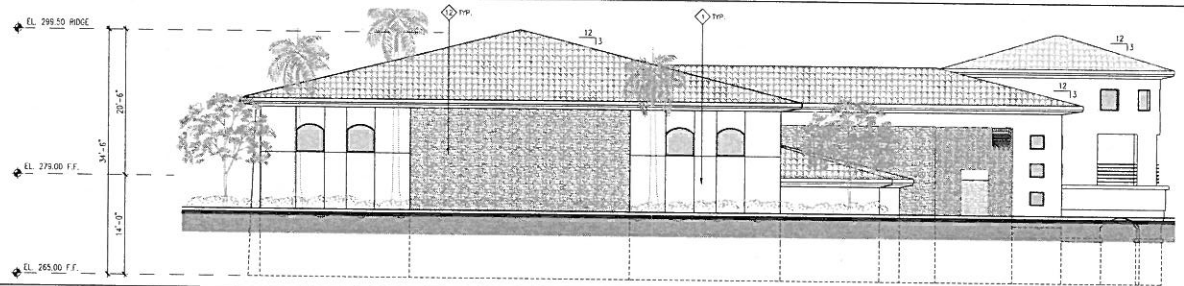
DATE	RS/PL
APR 06 06	CUP Submittal
OCT 1 07	CUP Submittal
MAY 01 08	CUP Reissue
FEB 26 12	-
AUG 16 12	-
DEC 03 12	CUP Submittal

SHT. TITLE

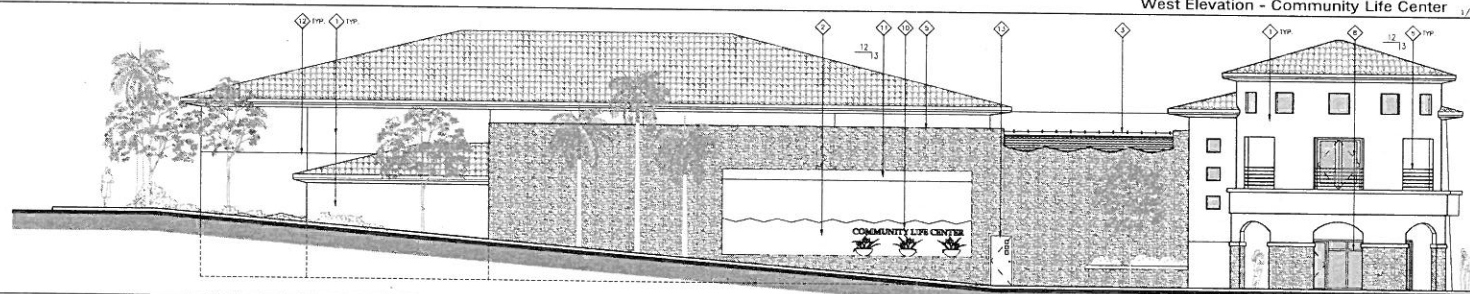
PRESCHOOL /
 ADMIN. BLDG.
 ELEVATIONS

SHEET NO.

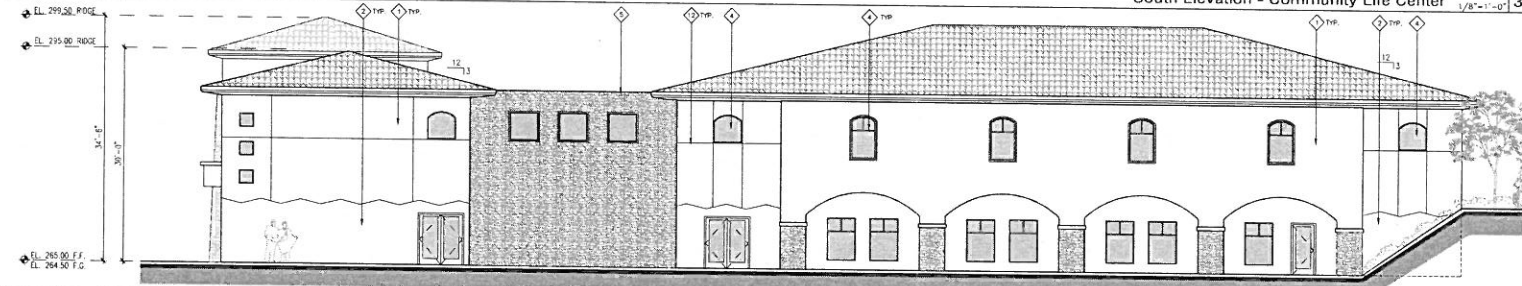
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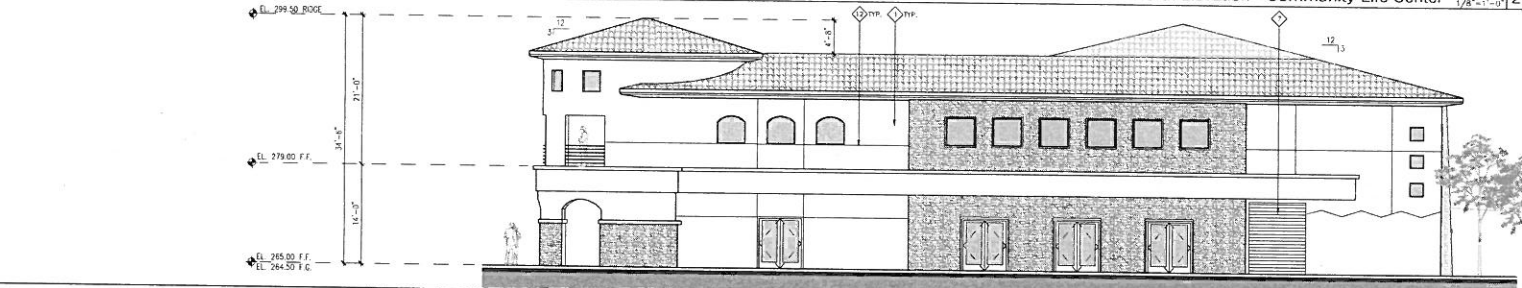
West Elevation - Community Life Center 1/8"=1'-0" 4



South Elevation - Community Life Center 1/8"=1'-0" 3



North Elevation - Community Life Center 1/8"=1'-0" 2



East Elevation - Community Life Center 1/8"=1'-0" 1

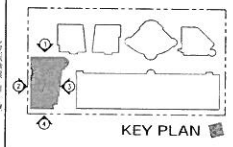
KEY NOTES

- ◇ SMOOTH PLASTER FINISH
- ◇ TEXTURED PLASTER FINISH
- ◇ WOOD CANOPY TO SCREEN MECHANICAL UNITS OVER EXTERIOR PATIO
- ◇ CLERESTORY WINDOWS
- ◇ PARAPET ROOF
- ◇ HANDRAIL
- ◇ METAL ROLL UP DOOR
- ◇ ALUMINUM WINDOW SYSTEM
- ◇ NOT USED
- ◇ SIGNAGE UNDER SEPARATE PERMIT
- ◇ WOOD BEAM WITH FINISH TO MATCH EXISTING SANCTUARY
- ◇ CONTROL JOINT REVEAL
- ◇ PAINTED METAL ROOF

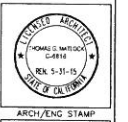
LEGEND

- SIGNAGE UNITS CLARING TO MATCH EXISTING SANCTUARY
- CUTLERED STONE BY "EL DORADO" COLOR BLEND TO MATCH BOULDER'S FOUND NATURALLY ON THE SITE
- TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY

- EL. = ELEVATION
- F.F. = FINISH FLOOR
- F.G. = FINISH GRADE
- I.O.P. = TOP OF PARAPET

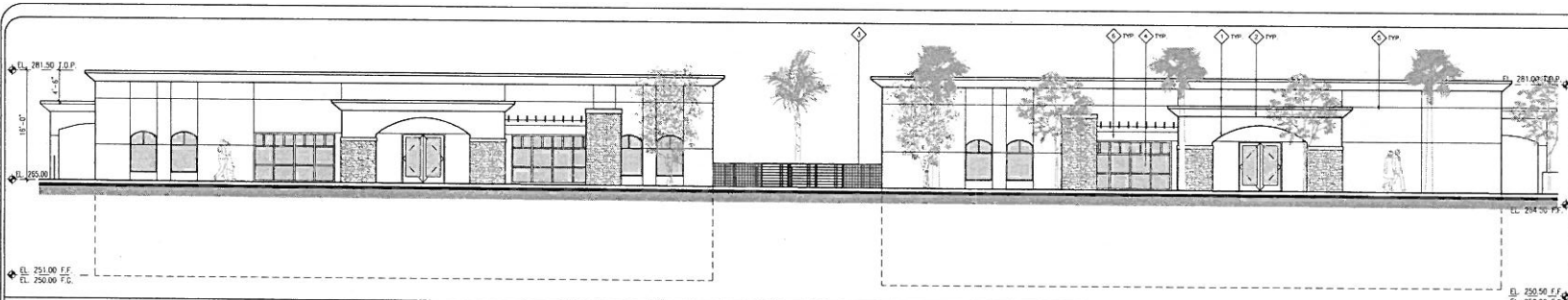


matlock ASSOCIATES
 ARCHITECTURE DESIGN / BUILD
 1614 E. HOLY BLVD., STE. 106
 OAKLAND, CA 94612 909.983.7777

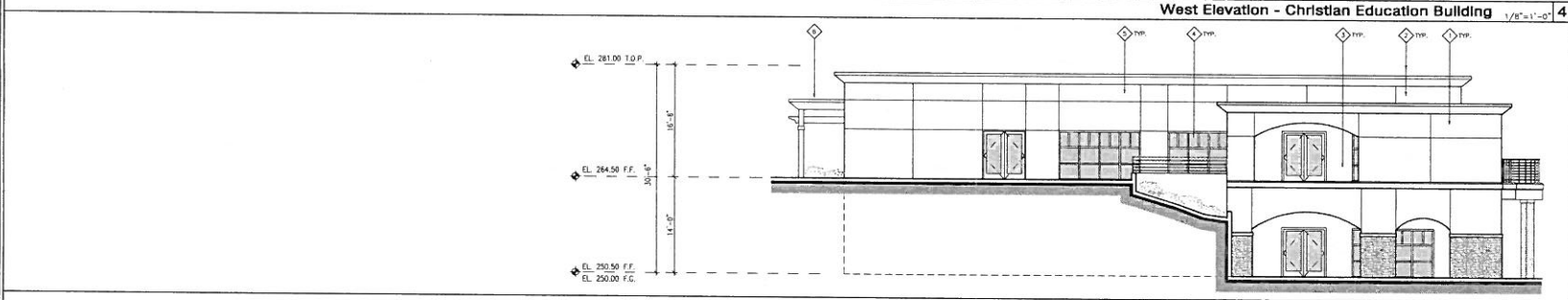


Conditional Use Permit Submittal for:
South Shores Church
 32715 Crown Valley Parkway
 Dana Point, California 92629

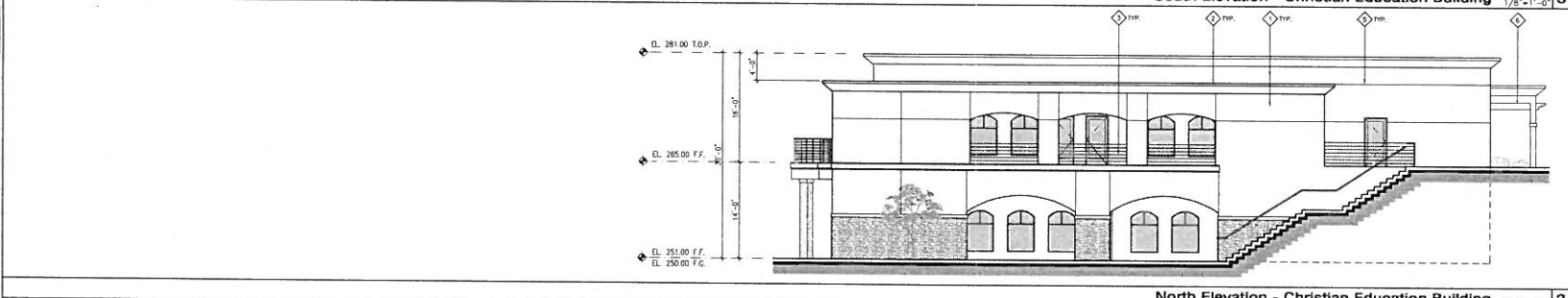
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DRAWN/CHK'D	SL/AM
DATE	ISSUE
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▲ OCT 17 07	CIP Submittal 2
▲ MAY 01 08	CIP Submittal 3
▲ FEB 29 12	-
▲ AUG 16 12	-
▲ DEC 03 12	CIP Submittal 4
▲	
SHT. TITLE	COMMUNITY LIFE CENTER ELEVATIONS
SHEET NO.	A11.0



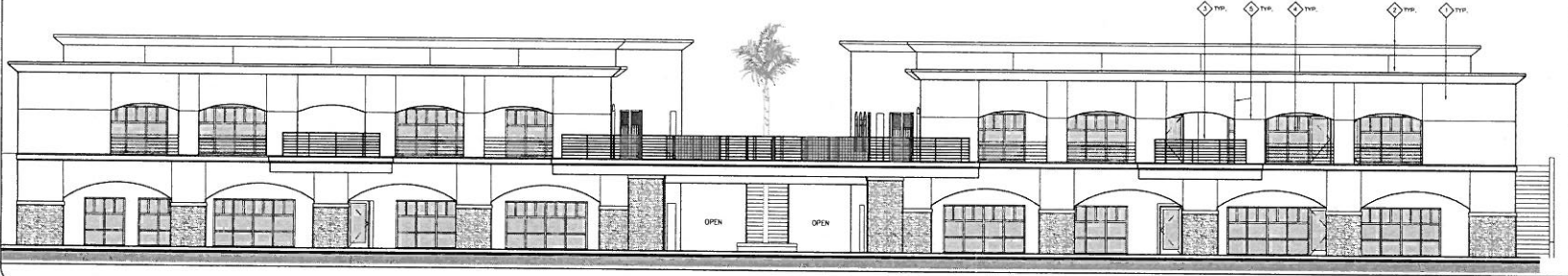
West Elevation - Christian Education Building 1/8"=1'-0" 4



South Elevation - Christian Education Building 1/8"=1'-0" 3



North Elevation - Christian Education Building 1/8"=1'-0" 2

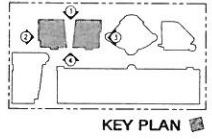


East Elevation - Christian Education Building 1/8"=1'-0" 1

- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
 - ◇ PARAPET ROOF
 - ◇ HANDRAIL
 - ◇ ALUMINUM WINDOW SYSTEM
 - ◇ CONTROL JOINT REVEAL
 - ◇ VINE COVERED WOOD TRELLIS

- LEGEND**
- BRONZE TINTED GLAZING TO MATCH EXISTING SANCTUARY
 - CULURED STONE BY "EL. DEBARD" CUSTOM COLOR BLEND TO MATCH BOULDERS FOUND NATURALLY ON THE SITE
 - TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY

EL. = ELEVATION
 F.F. = FINISH FLOOR
 F.G. = FINISH GRADE
 T.O.P. = TOP OF PARAPET



mallock
associates
 ARCHITECTURE DESIGN / BUILD
 917.961.909 FAX 917.961.7777
 OAKLAND, CA



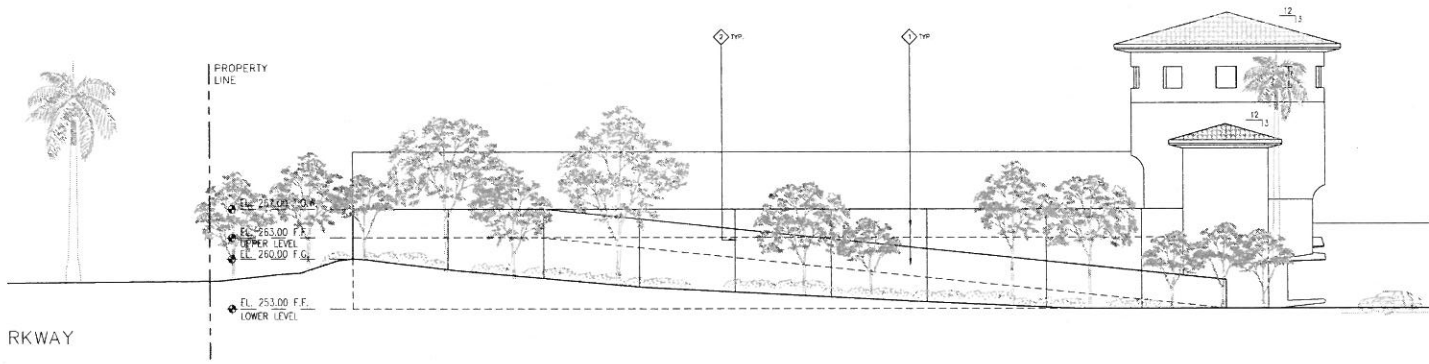
ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

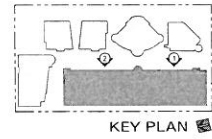
JOB NO.	21235
DRWN/CHK'D	SL/AM
DATE	ISSUE
APR 06 06	CUP Submittal 1
OCT 07 07	CUP Submittal 2
MAY 01 08	CUP Revision
FEB 29 12	-
AUG 16 12	-
DEC 03 12	CUP Submittal

SHT. TITLE
CHRISTIAN EDUCATION BLDG. ELEVATIONS
 SHEET NO.

A12.0



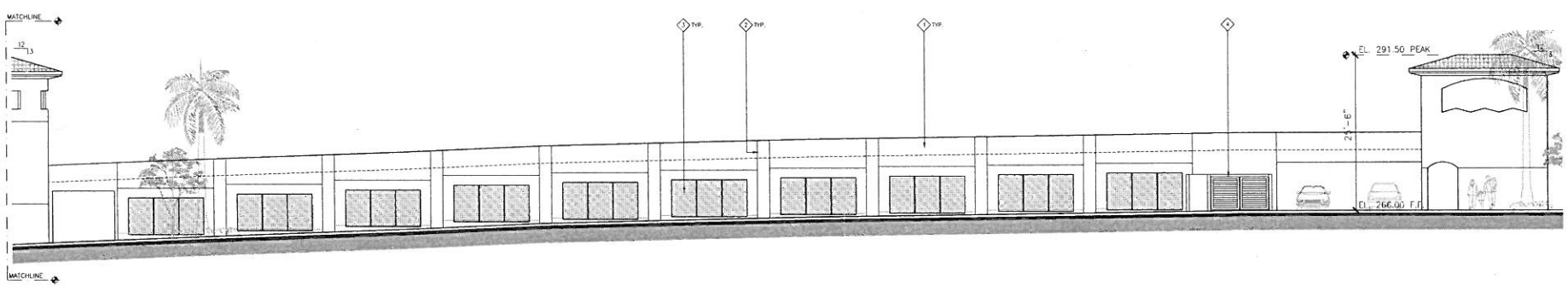
- KEY NOTES**
- ◇ SMOOTH PLASTER FINISH
 - ◇ CONTROL JOINT REVEAL
 - ◇ GREEN SCREEN COVERED WITH VINES
 - ◇ TRASH ENCLOSURE
- LEGEND**
- ▨ TERRA-COTTA ROOF TO MATCH EXISTING SANCTUARY



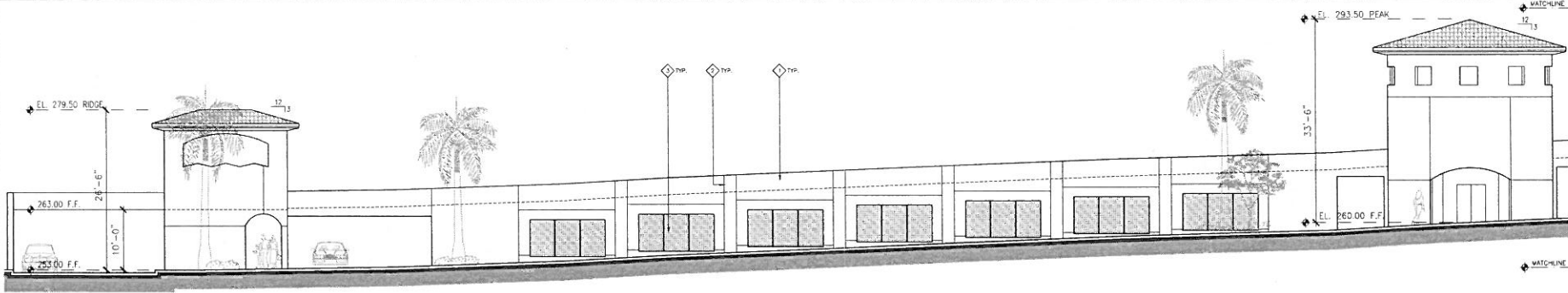
matlock ASSOCIATES
 ARCHITECTS/ENGINEERS/BUILDERS
 32712 Crown Valley Parkway
 Dana Point, CA 92629
 949.983.3777



Parking Structure - South Elevation 1/8"=1'-0" 3



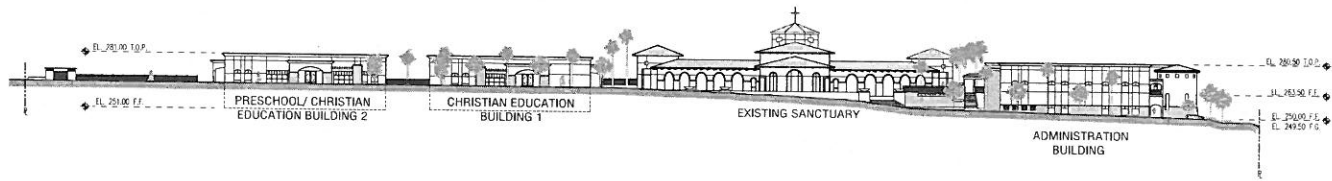
Parking Structure - East Elevation 1/8"=1'-0" 2



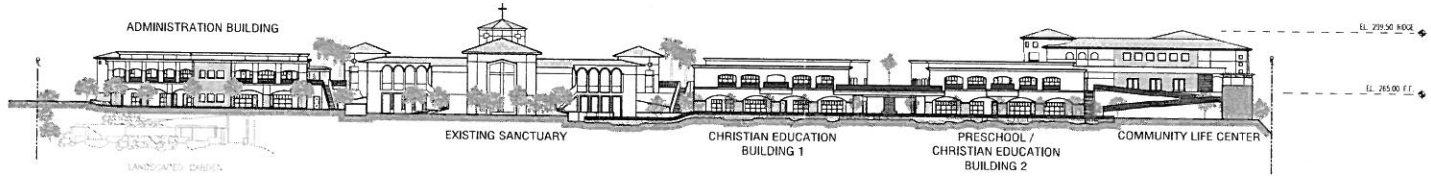
JOB NO.		21235
DRAWN/CHK'D		SL/AM
DATE	ISSUE	
APR. 06.06	CIP Submittal 1	
OCT. 7.07	CIP Submittal 2	
MAY. 07.08	CIP Revision	
FEB. 28.12		
AUG. 16.12		
DEC. 03.12	CIP Schedule	
SHT. TITLE		
PARKING STRUCTURE ELEVATIONS		
SHEET NO.		

Parking Structure - East Elevation 1/8"=1'-0" 1

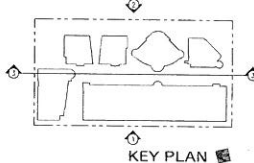
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Overall West Elevation From Drive Aisle 1/32"=1'-0" 3



Overall East Elevation 1/32"=1'-0" 2



KEY PLAN

Overall West Elevation (From Crown Valley Parkway) 1/32"=1'-0" 1

Client: Files\South Shores Church\1235 - South Shores Church_CUP\Architectural\AutoCad\CUP - DESIGN_CUP Submittal 3

nallock ASSOCIATES
 ARCHITECTURE DESIGN/BUILD
 1614 E. HOLY BLDG. STE. 106
 DANA POINT, CA 91761 949.933.7777



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
21235

DRW/CHECKED
SL/AM

DATE	ISSUE
APR 06 06	CUP Submittal 1
OCT 7 07	CUP Submittal 2
MAY 01 08	CUP Rebuild
FEB 29 12	-
AUG 16 12	-
DEC 03 17	CUP Submittal

SHT. TITLE

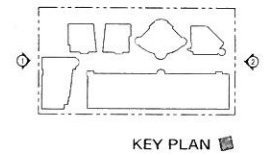
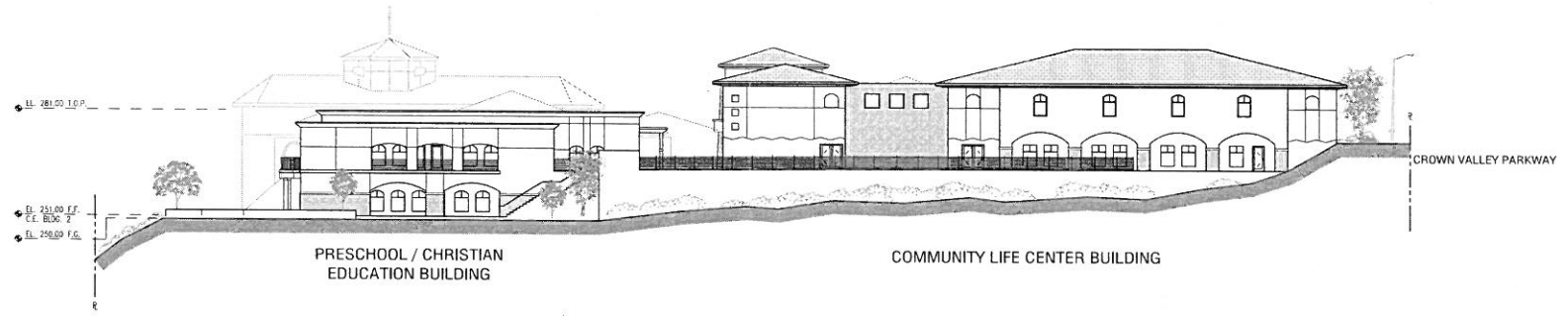
OVERALL ELEVATIONS EAST & WEST

SHEET NO.

A14.0



OVERALL SOUTH ELEVATION 1/8"=1'-0" 2



OVERALL NORTH ELEVATION 1/8"=1'-0" 1

nallock
ASSOCIATES
ARCHITECTURE / DESIGN / BUILD
DANA POINT, CALIF. 92629
949.983.7377



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

JOB NO.
21235

DRWN/CHK'D
SL/AM

DATE	REVISION
APR 06 06	CUP Submittal 1
OCT 07 07	CUP Submittal 2
MAY 01 08	CUP Revision
FEB 29 12	-
AUG 16 12	-
DEC 03 17	CUP Submittal

SHT. TITLE

OVERALL ELEVATIONS NORTH & SOUTH

SHEET NO.

A14.1

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lumens	Lumens	LF
A2	6	1 S.I. RM. 200V/240V HOLLOW V. I.P. FINISH	MEDIUM AREA POST TOPVERTICAL LAMP	VENTURE MS 200W/BLADES	21000	0.81	
BW	27	1 S.I. INS-10-PSM H.T.F.P.F. W/MT FINISH	SMALL AREA WALL MOUNTVERTICAL LAMP	VENTURE MS 150W/LPS	14000	0.81	
C	19	SUN VALLEY GLA.PP. 120W/PS @ 17' F.F.D	14" X 14" X 22" LANTERN WITH WHITE ACRYLIC LENSES	VENTURE MS 150W/CLP/STP	13300	0.81	
D	194	DELUXE HYDRALAX @ 9' F.F.D	CORNLIGHT WITH FRESNEL LENS	111 20W PL T	1800	0.30	
E	1	NORAL SEPARATOR @ 9' F.F.D	LANTERN WALL MOUNTED	1 20W CP	1500	0.81	
F	13	US ARCHITECTURAL RECESSED	HOLLAND	VENTURE M90W/CAUS	3200	0.72	
G	10	LUMINATION L180 PL24 VOLT FINISH @ 3' F.F.D	RECESSED WALL LUMINAIRE	62 40W PL	8300	0.81	
H	12	US ARCHITECTURAL FINISH	Torchiere Asymmetric Isotone	24XED 110W Luminaire (Retro Mount) White LED (500mA)	70	0.95	
J	1	US ARCHITECTURAL FINISH	Torchiere Symmetric Isotone	24XED 110W Luminaire (Retro Mount) White LED (500mA)	70	0.95	
K	44	LUMINATION S670 23 @ 2' F.F.D	JTPE LIGHT	(1) 30W CFL	2800	0.81	
L	2	LUMINASCAPES LITETILED 20W/PS @ 8' F.F.F	MACHINED 316 STAINLESS STEEL BODY 30Wx24x4 100mm DEEP PLASTIC 3W MEDIAN LENS RANZME	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
M	5	LUMINASCAPES LITETILED 20W/PS @ 8' F.F.F	MACHINED 316 STAINLESS STEEL BODY 30Wx24x4 100mm DEEP PLASTIC 3W MEDIAN LENS RANZME	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
N	0	LUMINASCAPES LITETILED 20W/PS @ 8' F.F.F	MACHINED 316 STAINLESS STEEL BODY 30Wx24x4 100mm DEEP PLASTIC 3W MEDIAN LENS RANZME	FLUX BIN U COLOUR BIN TO	Absolute	0.90	
P	1	LUMINASCAPES LITETILED 20W/PS @ 8' F.F.F	MACHINED 316 STAINLESS STEEL BODY 30Wx24x4 100mm DEEP PLASTIC 3W MEDIAN LENS RANZME	FLUX BIN U COLOUR BIN TO	Absolute	0.90	

NOTES

- CALC POINTS FOR PARKING AT -13 AND RAMP FROM ZERO TO -13
- A2 FIXTURES 17' F.F.F. DECK
- CALCULATION POINTS FOR PARKING ON DECK ARE 13' F.O.C.

STATISTICS

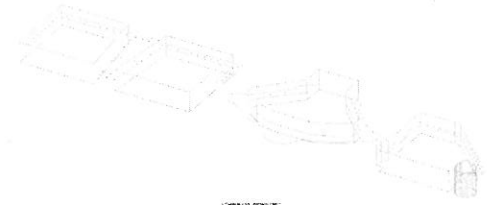
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BALCONY BETWEEN BLDGS CALC @ ZERO		3.9%	5.2%	1.8%	2.91	2.21
CANOPY AREA		8.9%	17.4%	4.6%	1.91	1.51
CANOPY AREA		7.3%	8.6%	5.4%	1.61	1.43
CANOPY AREA		7.3%	8.2%	5.1%	1.61	1.41
CANOPY AREA		7.5%	8.6%	5.3%	1.61	1.41
CIRCULAR WALK		8.8%	17.5%	1.8%	9.21	3.41
COURT/MEADOW/ARC/DECK/ROSE		3.1%	14.6%	0.5%	N/A	N/A
DRIVE & PARKING		3.5%	8.1%	0.2%	49.51	15.01
LOWER LVL CANOPY AREA		5.3%	8.1%	0.9%	N/A	N/A
LOWER LVL CANOPY AREA		6.3%	12.8%	0.2%	64.01	31.51
LOWER LVL CANOPY AREA		0.9%	7.5%	0.9%	N/A	N/A
FL		0.9%	12.4%	0.9%	N/A	N/A
FL LOWER LVL		0.0%	0.9%	0.0%	N/A	N/A
RAMP CALC @ ZERO TO -13 ABOVE ZERO		2.8%	4.9%	1.5%	4.81	2.91
ROOF CALC @ -13' F ABOVE ZERO		3.5%	10.5%	0.8%	25.81	5.61
SIDEWALK		1.0%	2.9%	0.9%	N/A	N/A
SIDEWALK		4.3%	8.4%	1.5%	6.31	4.21
SPELL (16' F)		0.0%	0.0%	0.0%	N/A	N/A
SPELL (16' F)		0.5%	0.1%	0.0%	N/A	N/A
X LOWER COURTYARD		3.6%	5.6%	3.5%	1.11	1.01
X LOWER COURTYARD		5.9%	7.8%	4.0%	2.01	1.61
X LOWER COURTYARD		4.3%	5.6%	3.5%	1.61	1.41
X LOWER COURTYARD		2.8%	3.4%	1.8%	1.91	1.41
X LOWER COURTYARD		3.4%	4.2%	2.7%	1.61	1.31
X LOWER COURTYARD		5.9%	7.3%	4.4%	1.71	1.31
X LOWER COURTYARD		5.9%	7.9%	3.7%	2.11	1.61
X LOWER COURTYARD		3.4%	3.9%	2.8%	1.41	1.21
X LOWER COURTYARD		2.5%	3.6%	1.3%	2.81	1.61
X LOWER COURTYARD		3.0%	4.3%	1.6%	2.71	1.61
X LOWER COURTYARD		4.5%	4.6%	4.3%	1.11	1.01
X LOWER COURTYARD		2.7%	3.5%	1.9%	2.21	1.71
X LOWER COURTYARD		4.4%	12.4%	0.1%	124.01	48.01
X LOWER COURTYARD		4.0%	6.0%	5.0%	1.41	1.21
X LOWER COURTYARD		2.3%	3.2%	1.3%	2.31	1.61
X LOWER COURTYARD		1.8%	2.6%	1.0%	2.61	1.61
X LOWER COURTYARD		3.3%	3.4%	3.2%	1.11	1.01
X LOWER COURTYARD		7.0%	9.6%	4.1%	2.41	1.71
X LOWER COURTYARD		5.1%	5.5%	4.7%	1.21	1.11
X LOWER COURTYARD		2.6%	4.0%	1.1%	3.61	2.41
X LOWER COURTYARD		2.1%	3.0%	1.1%	2.71	1.61
X LOWER COURTYARD		3.6%	4.0%	3.2%	1.31	1.11
X LOWER COURTYARD		4.8%	5.2%	4.1%	1.31	1.11
X LOWER COURTYARD		3.1%	4.4%	1.7%	2.61	1.61
X LOWER COURTYARD		1.9%	3.5%	1.9%	3.11	1.91
X LOWER COURTYARD		2.7%	3.9%	1.9%	3.01	1.91
X LOWER COURTYARD		2.4%	3.5%	1.9%	3.51	2.41
X LOWER COURTYARD		2.2%	4.1%	1.9%	4.11	2.21

SOUTH SHORES BAPTIST CHURCH
DANA POINT

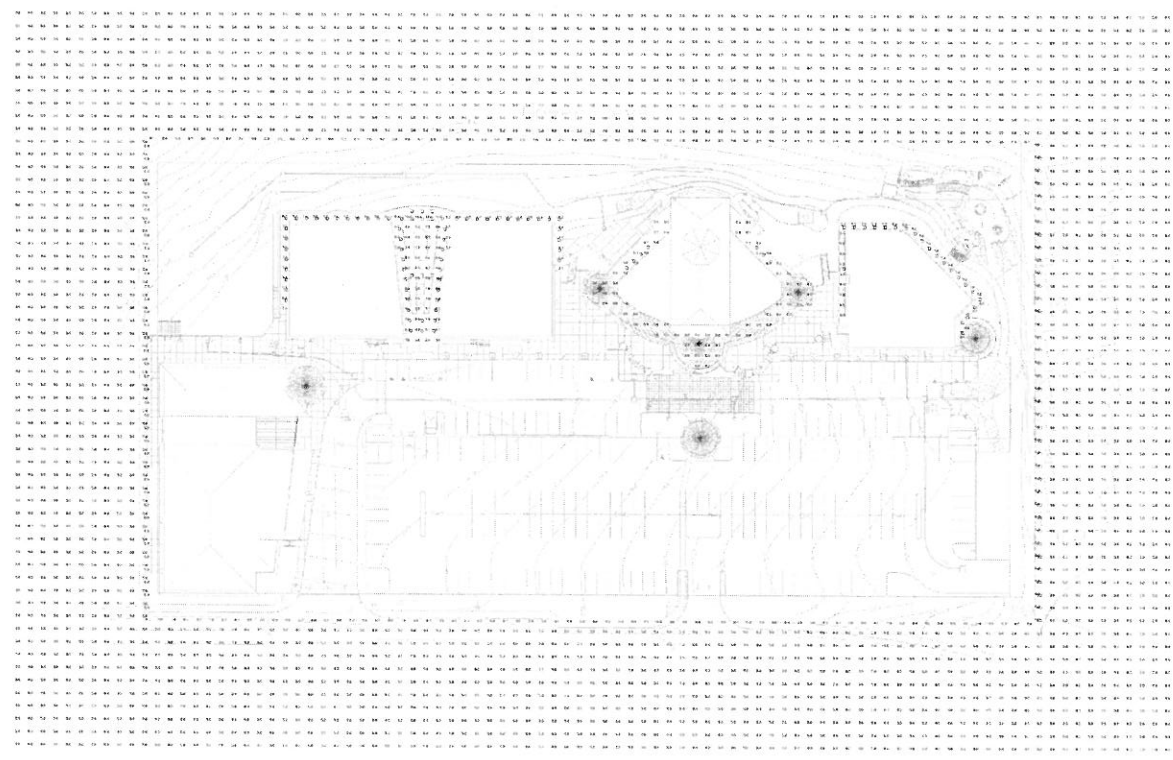
Client
MATLOCK & ASSOC
Date
FEB.29.2012
Calcs By
TLJ
Drawing No.
SOUTH SHORES

A15.0

DISCLAIMER: This calculator is based on the best information provided to CLS by the architect, engineer, lighting designer or interior designer. These findings should be verified by a certified electrical engineer in their jurisdiction. Design changes such as ceiling heights, colors, wall and floor reflectances of all surfaces including partition walls may adversely affect the overall light levels. CLS is not responsible as to the accuracy of these calculations, and they should only be used as a design reference tool.



CHURCH ELEVATION
1/12/12

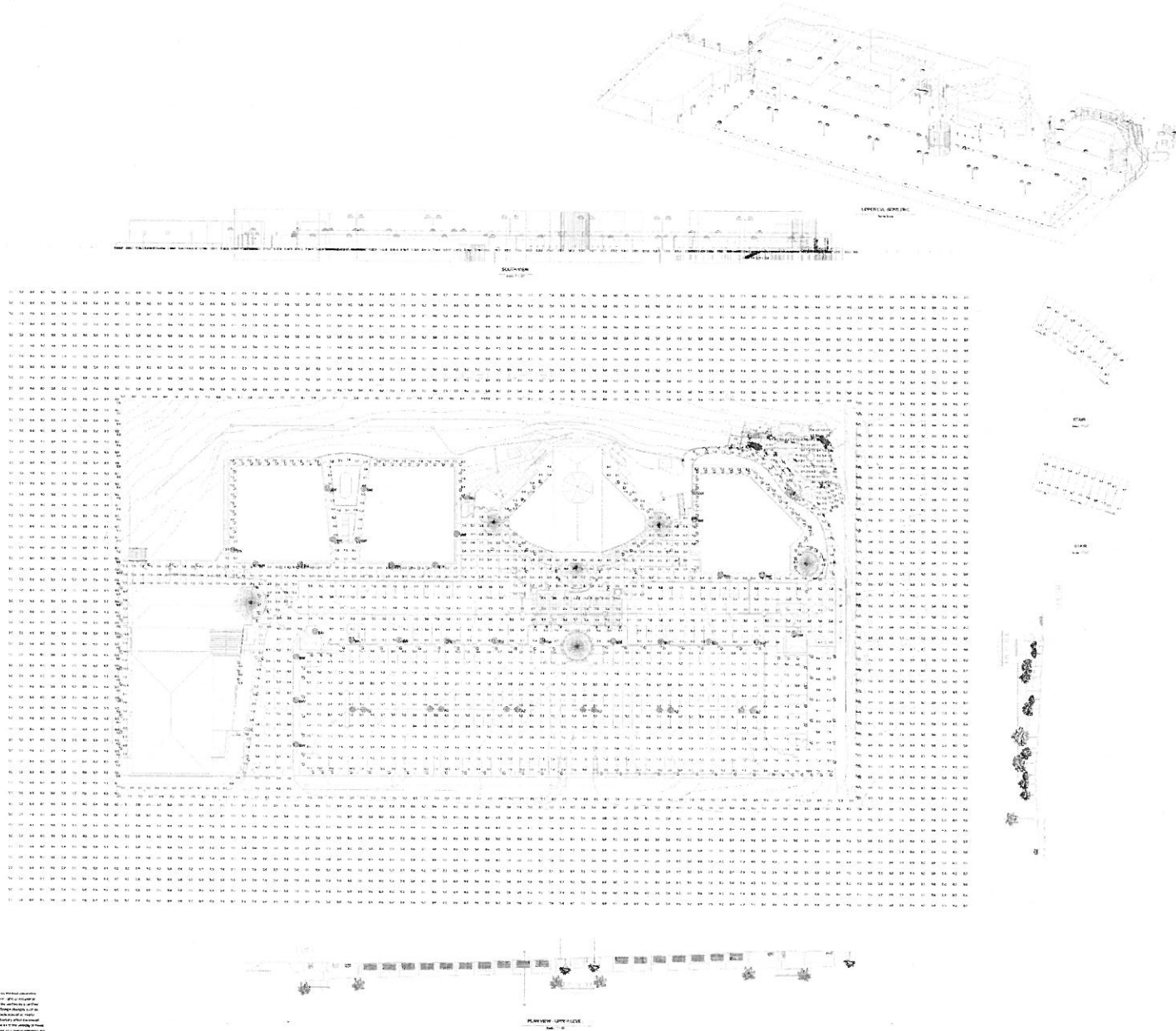


PLAN - LOWER LEVEL
1/12/12

NOT SCALE. THIS PLAN IS A GENERAL REFERENCE ONLY. ALL DIMENSIONS SHALL BE AS SHOWN ON THE ARCHITECTURAL DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.

SOUTH SHORES BAPTIST CHURCH
DANA POINT
LOWER LEVEL

Client
MATLOCK & ASSOC
Date
FEB. 29 2012
Cada By
TLJ
Drawing No.
SOUTH SHORES



SOUTH SHORES BAPTIST CHURCH
 DANA POINT
 UPPER LEVEL

Client: MATLOCK & ASSOC
 Date: FEB. 29 2012
 Cadd By: TLJ
 Drawing No: SOUTH SHORES

NOT TO SCALE. This drawing is intended for informational purposes only and should not be used for construction. It is not a contract document. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided.

PLANT LEGEND

TREES SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WULCOL	QUANTITY
	PLATANUS RACEMOSA (DECIDUOUS CANOPY TREE)	CALIFORNIA SYCAMORE	24 BOX	LOW	11
	LAGERSTROEMIA FAURIEI MUSADEE (DECIDUOUS FLOWERING ACCENT TREE)	CRAPPE WHITE	24 BOX	MED	26
	MAGNOLIA GRANDIFLORA LITTLE GEM (EVERGREEN FLOWERING ACCENT TREE)	LITTLE GEM MAGNOLIA	30 BOX	MED	2
	MELALEUCA QUINQUANERVIA (VERTICAL EVERGREEN TREE)	GALEPUL TREE	24 BOX	LOW	9
	OLEA EUROPAEA SWAN HILL (ACCENT EVERGREEN TREE)	SWAN HILL NON-FRUITING OLIVE	48 BOX	LOW	3
	PHOENIX DACTYLOFERA (VERTICAL ACCENT PALM)	DATE PALM	20 B.T.H.	LOW	8
	RHUS LANCEA (EVERGREEN SHADE TREE)	AFRICAN SLMAC	24 BOX	LOW	13
	EXISTING TREE TO REMAIN				
	EXISTING QUEEN PALM TO REMAIN - PROTECT IN PLACE				

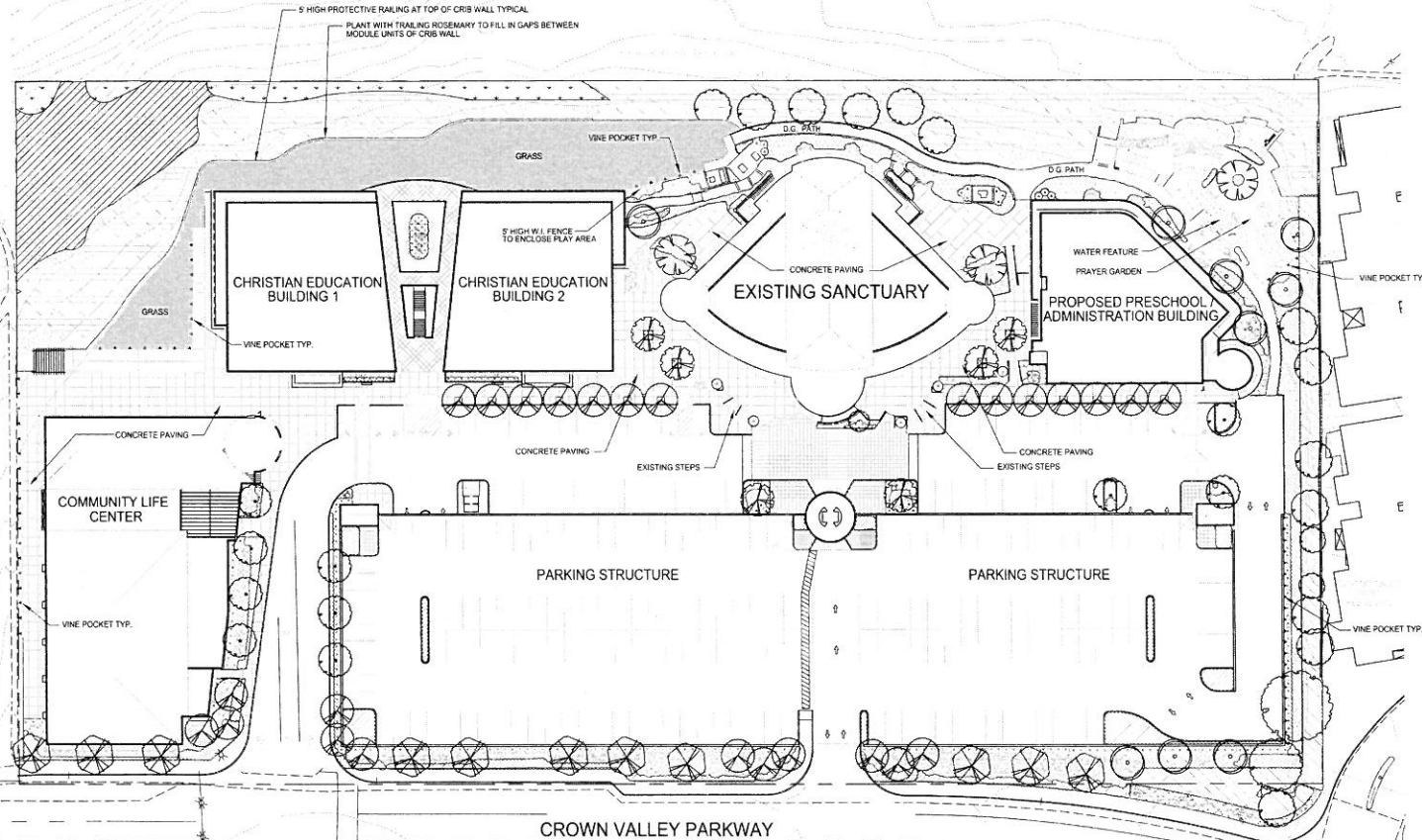
SHRUBS SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	VARIABLES	LOW
	BULBUS JAPONICA GREEN BEAUTY	JAPANESE BOPWOOD	5 GAL	30" O.C.	MED
	CALLISTEMON LITTLE JOHN	DWARF BOTTLEBRUSH	5 GAL	3 O.C.	LOW
	ELEGANS PUNGENS	SILVERBERRY	5 GAL	4 O.C.	LOW
	ISOMERIS ARBORES	BLADDERPOD	5 GAL	VARIABLES	LOW
	ESCALLONIA FRADES	ESCALLONIA	5 GAL	3 O.C.	MED
	LIGUSTRUM JAPONICA	WAX LEAF PRIVET	5 GAL	3 O.C.	LOW
	NANDINA DOMESTICA SPECIES	HEAVENLY BAMBOO	5 GAL	3 O.C.	LOW
	PITTIOSPORUM TOBIRA WHEELERS DWARF	WHEELERS DWARF	5 GAL	3 O.C.	MED
	SOPHORA JAPONICA CLARE	INDIAN HAWTHORN	5 GAL	3 O.C.	MED
	ROMANEUS OFFICINALIS TUSCAN BLUE	ROSEMARY	5 GAL	3 O.C.	LOW
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	4 O.C.	LOW
	XYLODMA CONGESTUM COMPACTUM	DWARF SHINY ATLOSEA	5 GAL	VARIABLES	LOW
	ACCENT SHRUBS				
	ANAGALLIS FLAVIDA GOLD VELVET	KANGAROO PAW	5 GAL	3 O.C.	LOW
	PENNISETUM FAIRY TAILS	FAIRY TAILS FOUNTAIN GRASS	1 GAL	3 O.C.	LOW
	BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	5 GAL	4 O.C.	LOW
	PHILODENDRON SELLOUM	PHILODENDRON	5 GAL	4 O.C.	MED
	PHORADENDRON TAMARIS	NEW ZEALAND FLAX	5 GAL	4 O.C.	LOW
	ROSA SPEARS	ICEBERG FLOWERING ROSE	5 GAL	3 O.C.	MED
	STRALITZIA REGINAE	BIRD OF PARADISE	5 GAL	VARIABLES	MED
	VINE - AT RETAINING & GARAGE WALL ALONG SOUTH				
	DISTICHIS BUCCINATORIA	BLOOD RED TRUMPET VINE	5 GAL	8 O.C.	MED

GROUND COVER PALLETTE SYMBOL	BOTANICAL	COMMON	SIZE	SPACING	WULCOLS
	ACACIA DESERT CARPET	N.C.N.	1 GAL	TRIANGULAR SPACE 48" O.C.	LOW
	AGAPANTHUS AFRICANUS	LILY OF THE Nile	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
	CARISSA MACROCARPA GREEN CARPET	GREEN CARPET NATA PLUM	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
	HEMEROCALLIS HYBRID	DAY LILY	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
	LIRIODENDRON MUSCARI	GRAY LILY TURF	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
	TRACHELOTHENUM JASMOIDES	STAR JASMINE	1 GAL	TRIANGULAR SPACE 18" O.C.	MED
	CARISSA MACROCARPA GREEN CARPET	GREEN CARPET NATA PLUM	1 GAL	TRIANGULAR SPACE 24" O.C.	MED
	LANTANA NEW GOLD	NEW GOLD LANTANA	1 GAL	TRIANGULAR SPACE 30" O.C.	LOW
	IPOMOEA PURPUREA PUTAH CREEK	PUTAH CREEK IPOMOEUM	1 GAL	TRIANGULAR SPACE 30" O.C.	LOW
	ROSMARINUS OFFICINALIS	ROSEMARY	1 GAL	TRIANGULAR SPACE 30" O.C.	LOW
	ROSA SPECIES FLOWER CARPET PINK	ROSE	2 GAL	TRIANGULAR SPACE 30" O.C.	MED
	ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANDARINA	1 GAL	TRIANGULAR SPACE 6" O.C.	LOW
	CEANOTHUS GRISEUS HORIZONTALIS	CARMELO CREESER	1 GAL	TRIANGULAR SPACE 6" O.C.	LOW
	THUNBERGIA STRICTA	GUM PLANT	1 GAL	TRIANGULAR SPACE 6" O.C.	LOW
	CAREX TUMUKICOLA (BIO SWALE)	BERKLEY SEDGE	2 LINERS	TRIANGULAR SPACE 18" O.C.	MED
	Gal-1 HYBRID BERNILDA 500				

EXISTING LANDSCAPE SYMBOL	DESCRIPTION
	EXISTING CHAPARRAL TO REMAIN
	COASTAL SAGE SCRUB / CHAPARRAL TO REMAIN
	EXISTING ORNAMENTAL LANDSCAPE TO REMAIN
	EXISTING FESCUE GRASS TO REMAIN

SHREDDED MULCH NOTE:
ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF SHREDDED COVER MULCH AVAILABLE FROM EARTHWORKS (909) 273-0988

NOTE: THE LANDSCAPE DESIGN WILL COMPLY WITH CHAPTER 9.55 OF THE ZONING ORDINANCE



DATE: 8-16-12
JOB NO.: MTLK0031
DRWN/CHK'D: PRELIMINARY LANDSCAPE PLAN
SHT. TITLE: L-1
SCALE: 1" = 30'-0"



PROJECT: South Shores Church
32712 Crown Valley Parkway, Dana Point, California

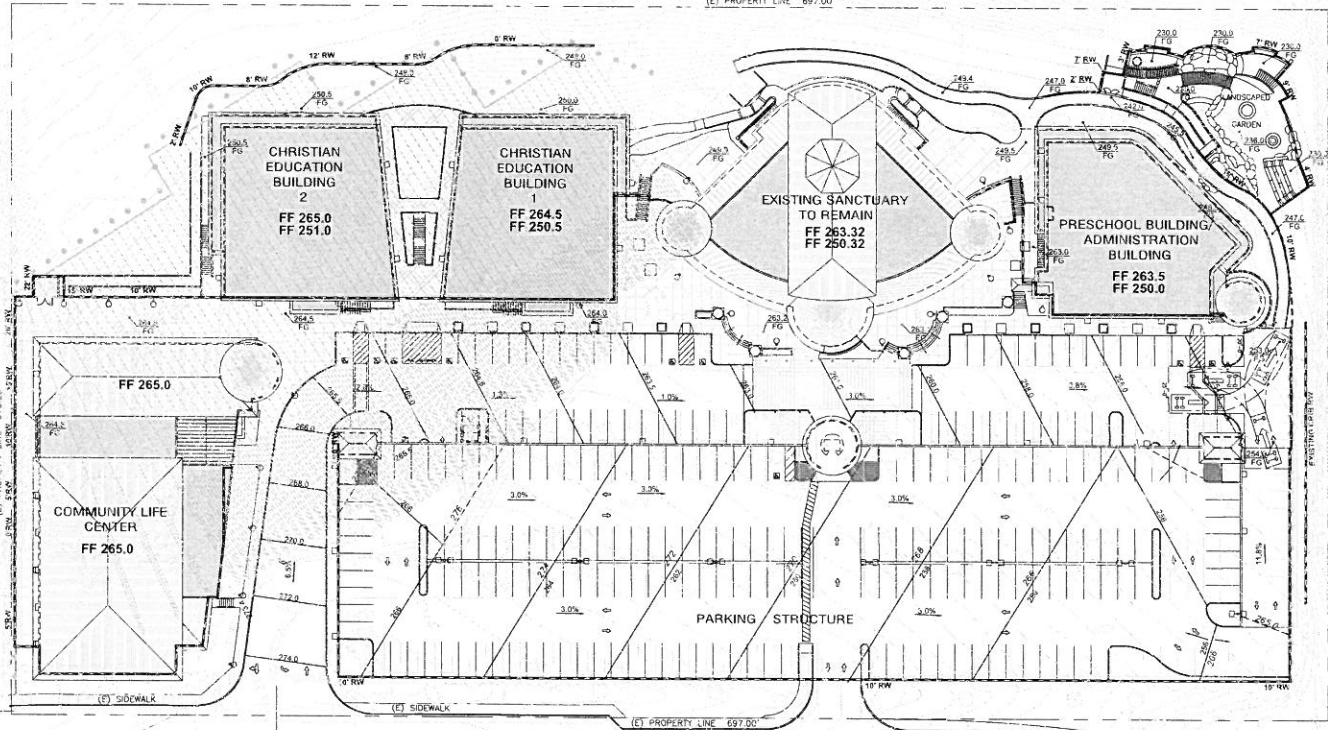
THOMAS E. ASSOCIATES, INC.
1814 EAST BAYVIEW STREET, DANA POINT, CALIFORNIA 92629

DATE: 8-16-12
JOB NO.: MTLK0031
DRWN/CHK'D: PRELIMINARY LANDSCAPE PLAN
SHT. TITLE: L-1
SCALE: 1" = 30'-0"

SHEET NO.

EXISTING GOLF COURSE BELOW

(E) PROPERTY LINE 697.00'



CROWN VALLEY PARKWAY

LEGEND

- RETAINING WALL
- CAISSON
- TIE-BACK
- FF FINISH FLOOR
- FG FINISH GRADE
- RW RETAINING WALL
- 260 CONTOUR ELEVATION
- 250 UPPER PARKING STRUCTURE CONTOUR ELEVATION

30' 20' 10' 0' 30' 60'
 GRAPHIC SCALE: 1"=30'

ADAMS - STREETER
 CIVIL ENGINEERS & ARCHITECTS
 1000 S. GARDEN ST., SUITE 200
 DANA POINT, CALIF. 92629
 PH: 949 470-2888 FAX: 949 470-8881



ARCH/ENG STAMP

Conditional Use Permit, Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
 21235

DRAWN/CHK'D
 NS

DATE	ISSUE
APR.08.08	CDP Submittal 1
OCT.07.07	CDP Submittal 2
MAY.01.08	CDP Revision
FEB.07.12	-
AUG.16.12	-

SHT. TITLE

**CONCEPTUAL
 GRADING
 PLAN**

SHEET NO.

C-1



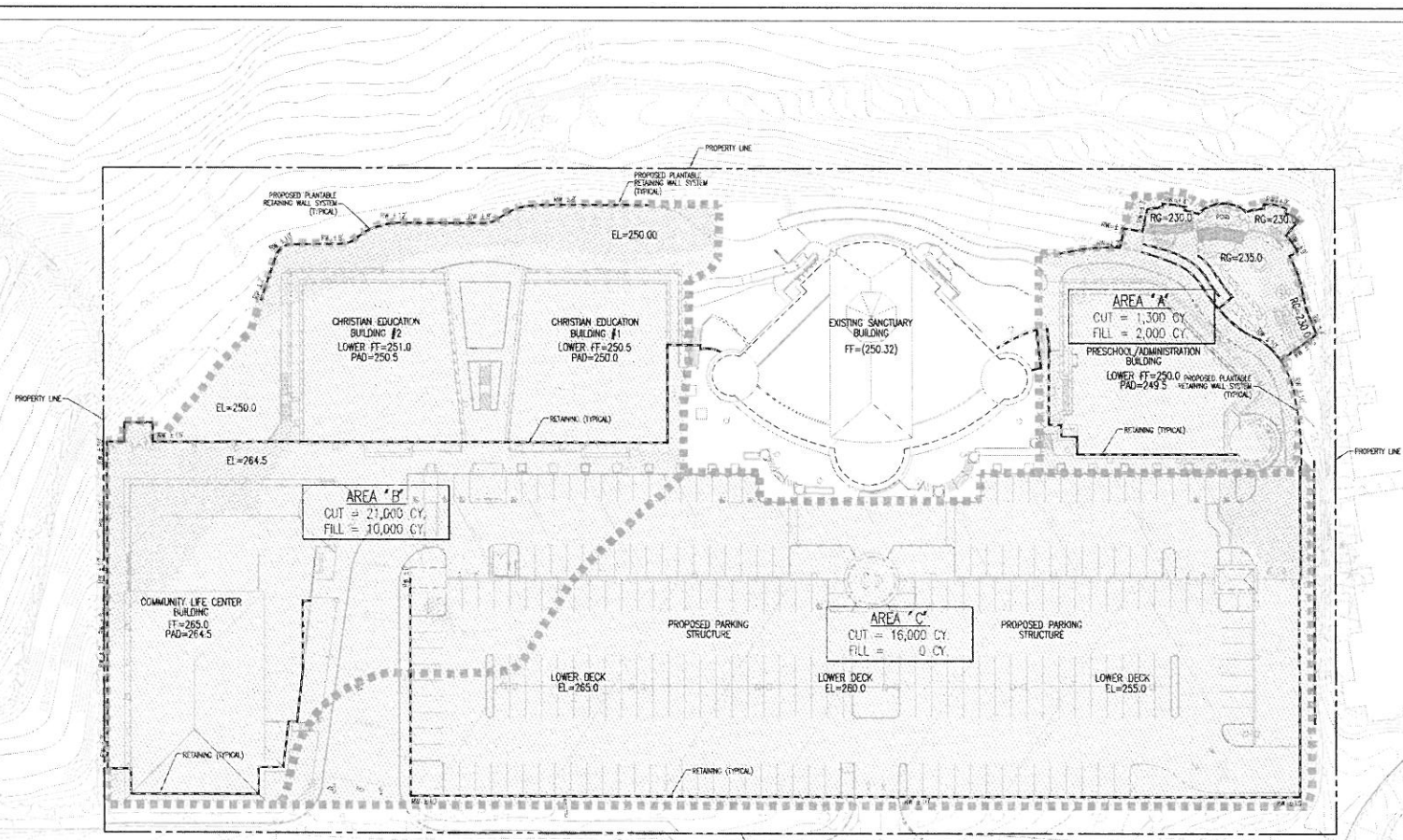
ARCH/ENG STAMP

Conditions: Use Permit Submittal for:
South Shores Church
 37712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	21235
DRWN/CHK'D	NS
DATE	ISSUE
APR 04 06	CIP Submittal 1
OCT 17 07	CIP Submittal 2
MAY 20 08	CIP Revision
FEB 07 12	CIP Revision
AUG 16 12	-
NOV 01 12	CIP Submittal 3

SHT. TITLE
 CORRECTIVE
 GRADING EXHIBIT
 ROUGH GRADE
 EARTHWORK
 QUANTITIES

SHEET NO.
C-2.0



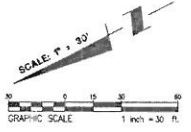
EARTHWORK QUANTITIES
 (DOES NOT INCLUDE SHRINKAGE, SUBSIDENCE, OR
 INCLUDING FACTORS)

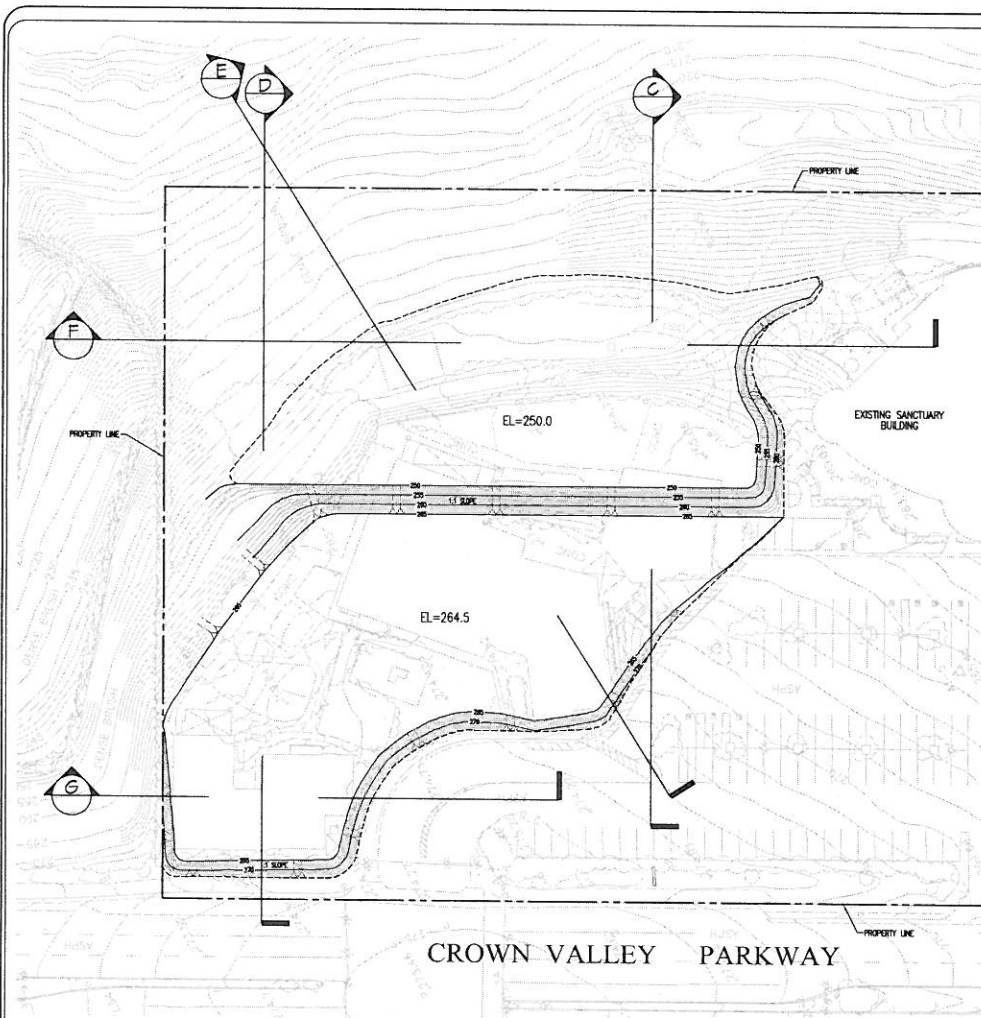
AREA "A"	
RAW CUT	1,300 C.Y.
RAW FILL	2,000 C.Y.
IMPORT	700 C.Y.
EXPORT	0 C.Y.
STOCKPILE	0 C.Y.
AREA "B"	
RAW CUT	21,000 C.Y.
RAW FILL	10,000 C.Y.
IMPORT FROM AREA "C"	2,500 C.Y.
IMPORT	3,500 C.Y.
EXPORT	17,000 C.Y.
STOCKPILE	0 C.Y.
AREA "C"	
RAW CUT	16,000 C.Y.
RAW FILL	0 C.Y.
EXPORT TO AREA "B"	2,500 C.Y.
IMPORT	0 C.Y.
EXPORT	13,500 C.Y.
STOCKPILE	0 C.Y.

CROWN VALLEY PARKWAY

LEGEND:

- INDICATES CUT AREA
- INDICATES FILL AREA
- INDICATES AREA BOUNDARY

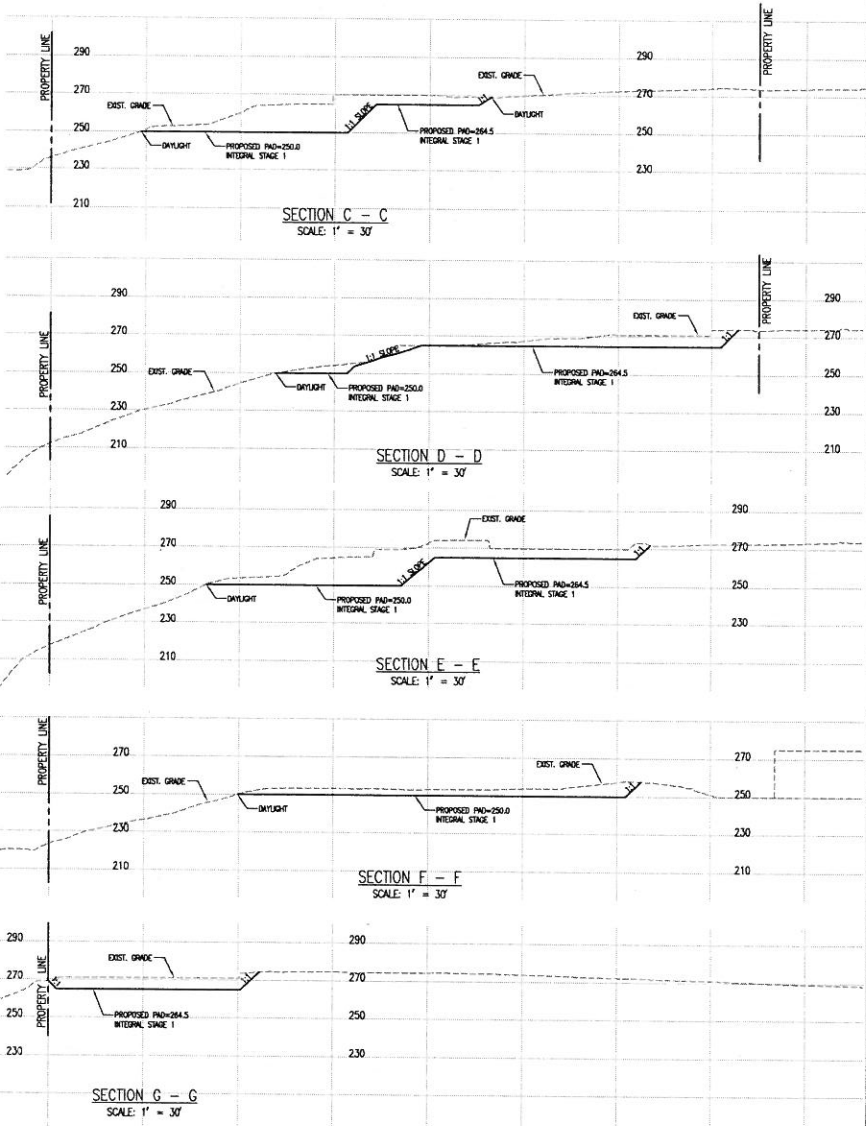
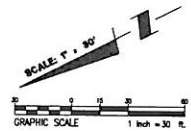




**INTEGRAL GRADING
EARTHWORK QUANTITIES**

* RAW CUT :	17,000 C.Y.
* RAW FILL :	0 C.Y.
EXPORT 17,000 C.Y. STOCKPILE 0 C.Y.	

* QUANTITIES SHOWN HEREON ARE PART OF THE TOTAL QUANTITIES SUMMARY ON SHEET C-2.0.



**ADAMS & STREETER
CIVIL ENGINEERS, INC.**
10000 S. BAYVIEW BLVD., SUITE 200
DANA POINT, CALIFORNIA 92629
PH: 949.261.2222 FAX: 949.261.2223



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
32713 Crown Valley Parkway
Dana Point, California 92629

JOB NO.
21235

DRWN/CHK'D
NS

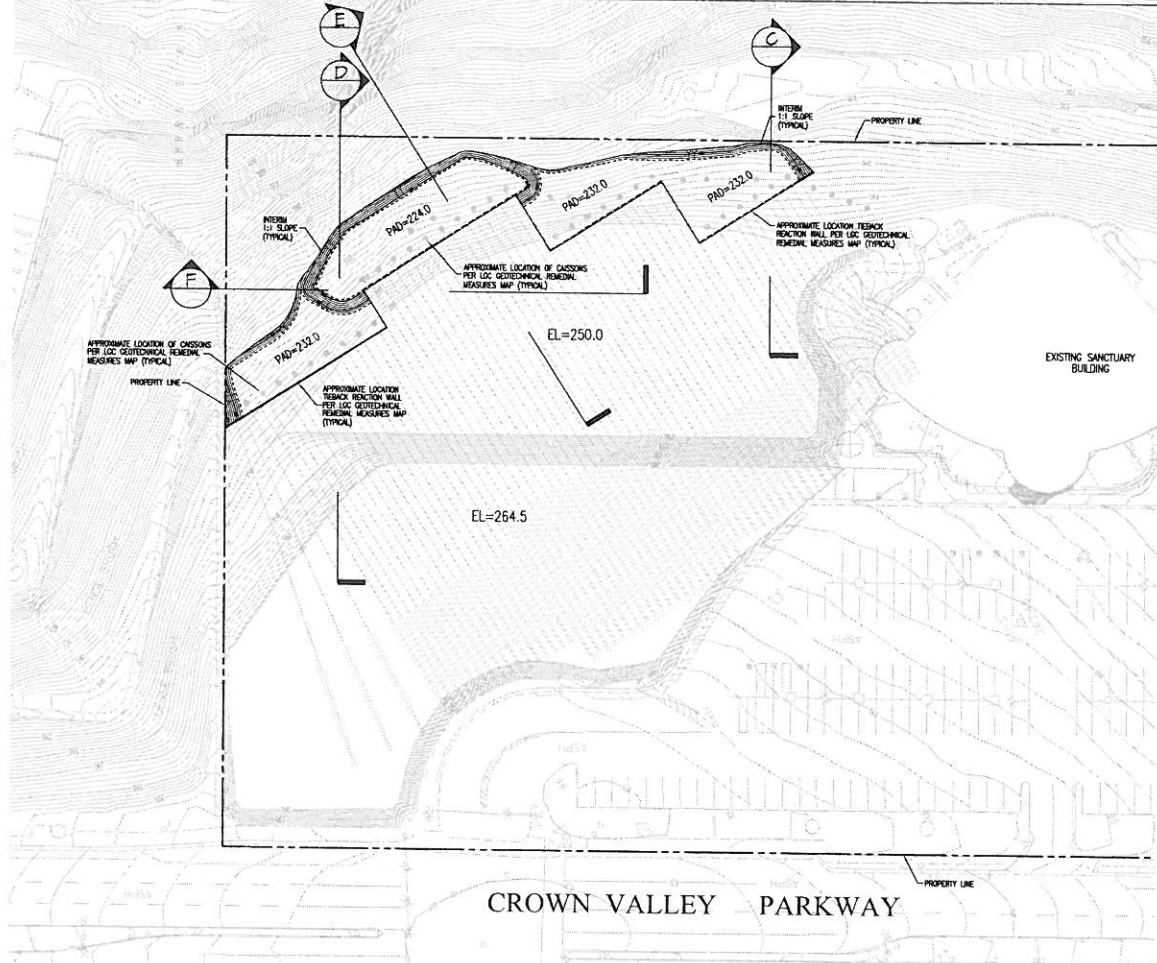
DATE	ISSUE
APR.06.06	CIP Submittal 1
OCT.7.07	CIP Submittal 2
MAY.01.08	CIP Revision
FEB.07.12	-
AUG.16.12	-
NOV.01.12	CIP Submittal 3

SHT. TITLE

CORRECTIVE
GRADING EXHIBIT
STAGE 1
INTEGRAL GRADING

SHEET NO.

C-2.1

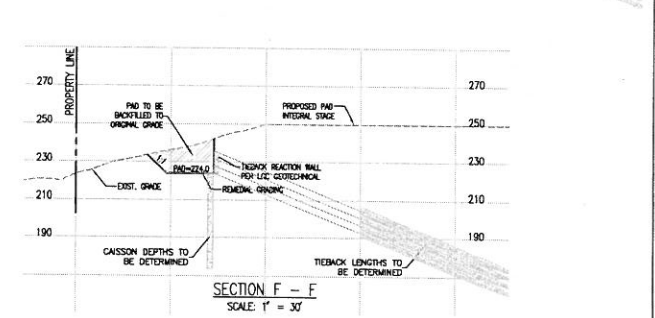
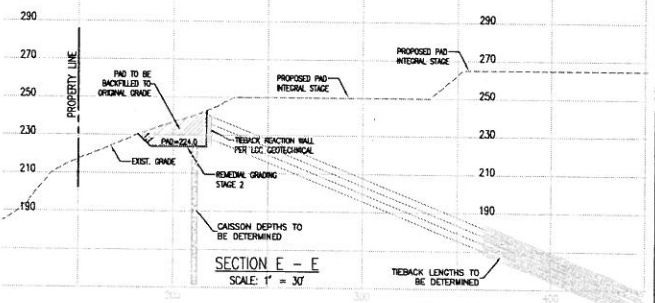
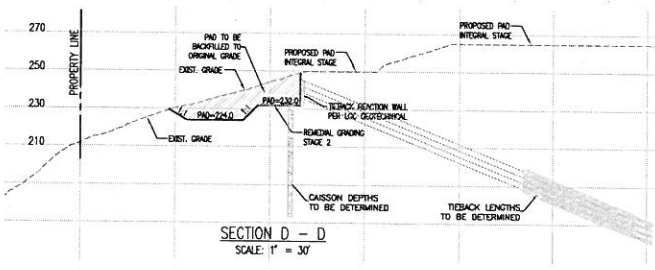
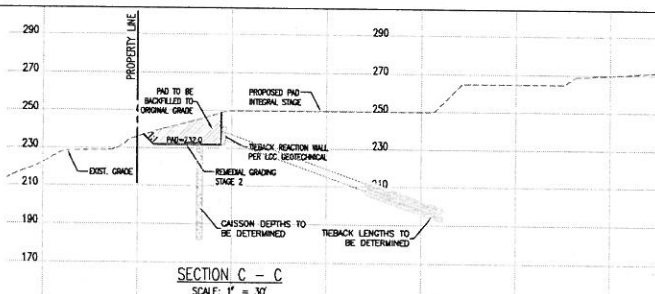
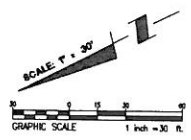


CROWN VALLEY PARKWAY

EXISTING SANCTUARY BUILDING

REMEDIAL STAGE EARTHWORK QUANTITIES	
* RAW CUT :	4,000 C.Y.
* RAW FILL :	4,000 C.Y.
EXPORT	0 C.Y.
STOCKPILE	0 C.Y.

* QUANTITIES SHOWN HEREON ARE PART OF THE TOTAL QUANTITIES SUMMARY ON SHEET C-2A.



ADAMS - STREETER
CIVIL ENGINEERS, INC.
P.O. BOX 924285 DENVER, CO 80292
Tel: 303.752.1880 Fax: 303.752.0880



ARCH/ENG STAMP

Conditional Use Permit Submittal for
South Shores Church
32712 Crown Valley Parkway
Dana Point, California 92629

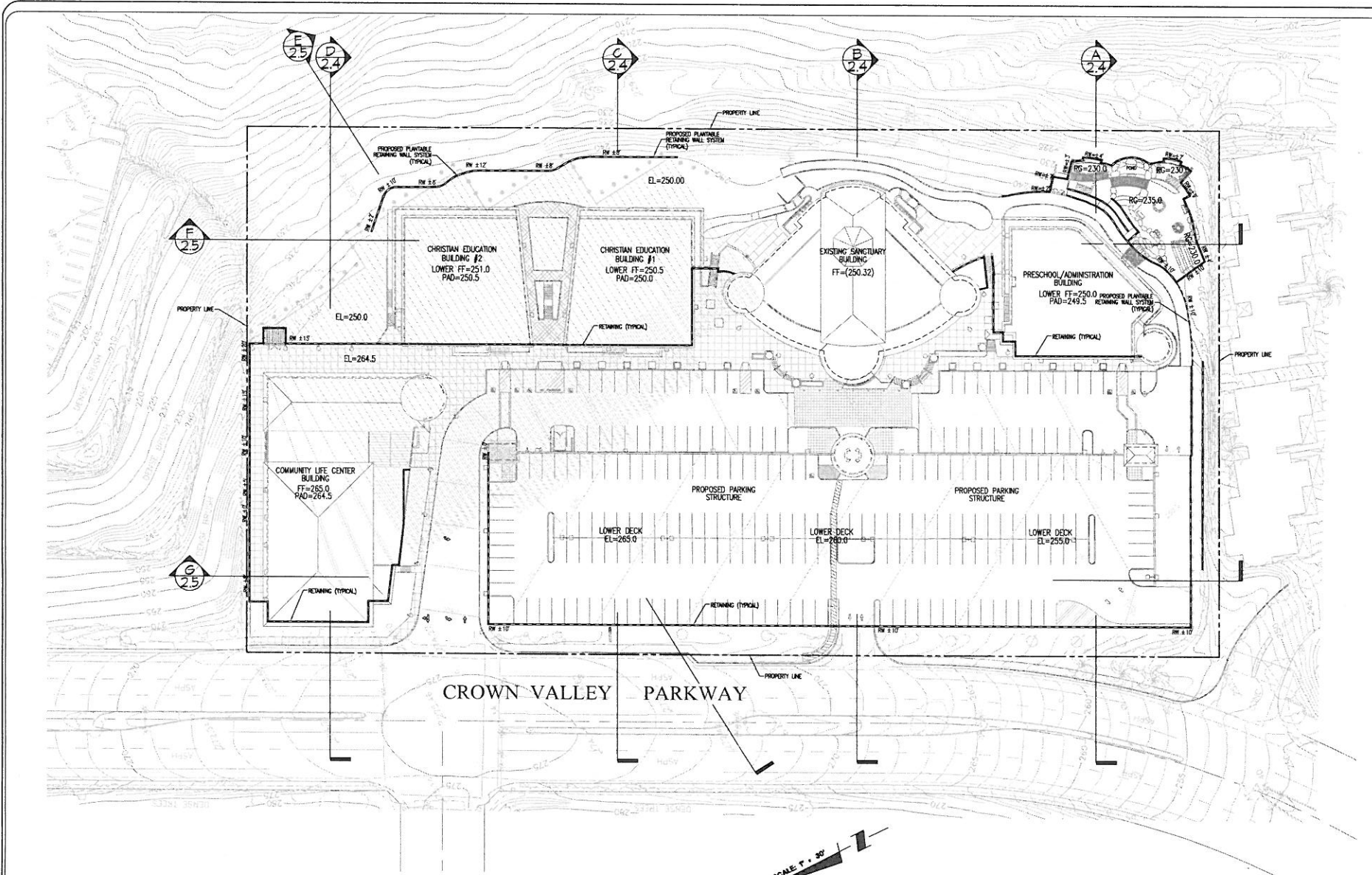
JOB NO.
21235
DRAWN/CHK'D
NS

DATE	ISSUE
APR.06.06	CIP Submittal 1
OCT.7.07	CIP Submittal 2
MAY.01.08	CIP Revision
FEB.07.12	-
AUG.16.12	-
NOV.01.12	CIP Submittal 3

SHT. TITLE
CORRECTIVE
GRADING EXHIBIT
STAGE 2
REMEDIAL GRADING

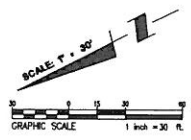
SHEET NO.

C-2.2



CROWN VALLEY PARKWAY

LEGEND:
 --- INDICATES RETAINING WALL



ADAMS & STREETER
 CIVIL ENGINEERS, INC.
 1000 S. GARDEN ST., SUITE 200
 ANAHEIM, CALIF. 92805
 PH: 714.771.2222 FAX: 714.771.2288



ARCH/ENG STAMP

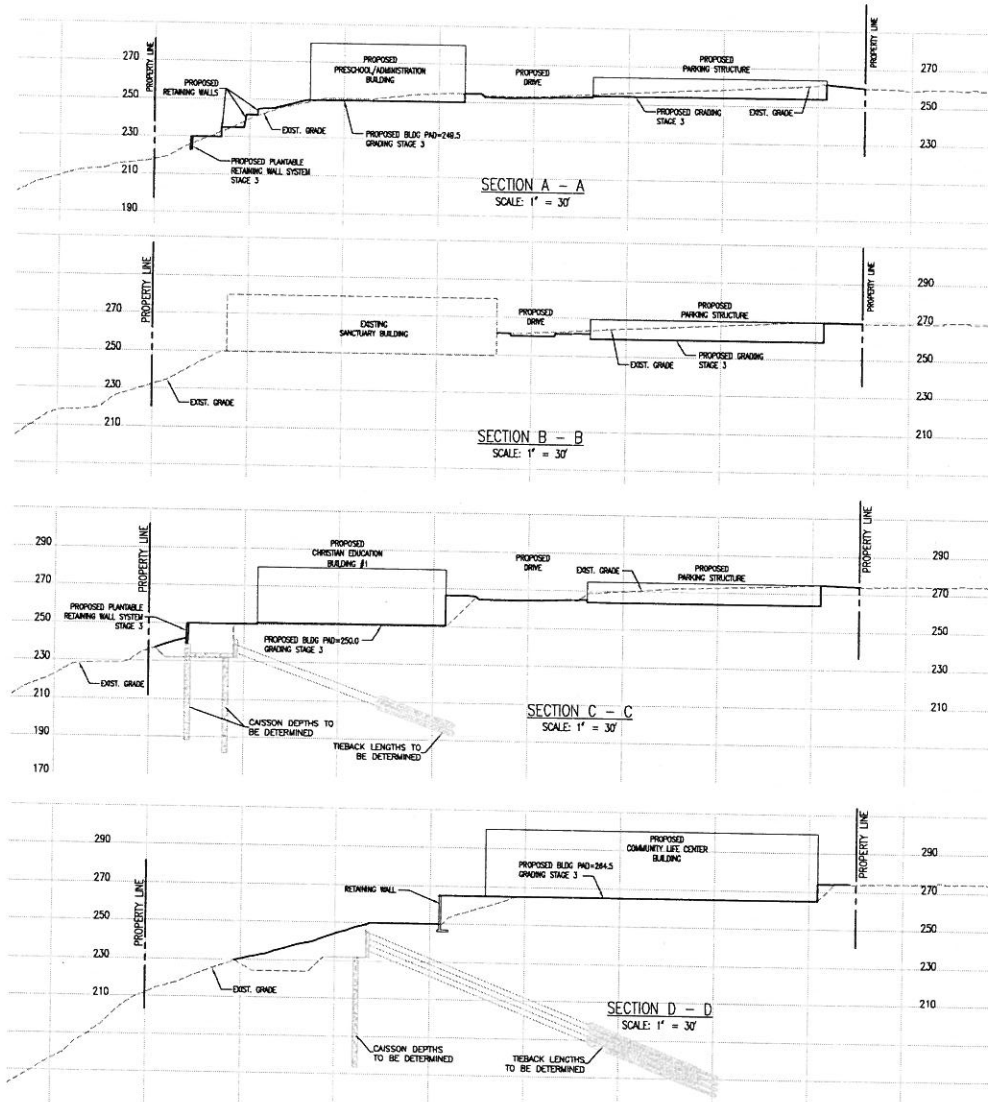
Conditional Use Permit Submitted for:
South Shores Church
 32775 Crown Valley Parkway
 Dana Point, California 92629

JOB NO. Z1235	
DRWN/CHK'D NS	
DATE	ISSUE
APR.06.05	CLP Submittal 1
OCT.7.07	CLP Submittal 2
MAY.10.08	CLP Reissue
FEB.07.12	-
AUG.16.12	-
NOV.05.12	CLP Submittal 3

SHT. TITLE:
 CORRECTIVE
 GRADING EXHIBIT
 STAGE 3 (FINAL)
 ROUGH GRADING

SHEET NO.

C-2.3



ADAMS • STREETER
CIVIL ENGINEERS, INC.
 1001 S. GARDEN ST.
 SUITE 200
 ANAHEIM, CALIF. 92805
 TEL: 714.773.3300 FAX: 714.773.9091



ARCH/ENG. STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.
212.35

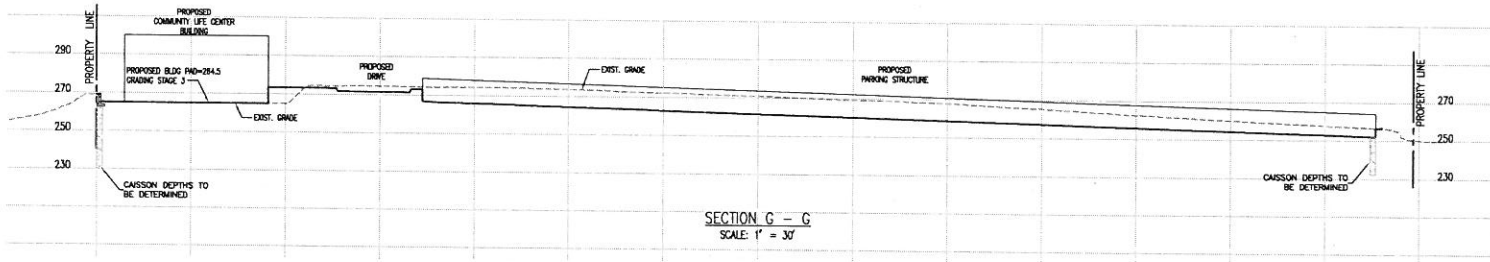
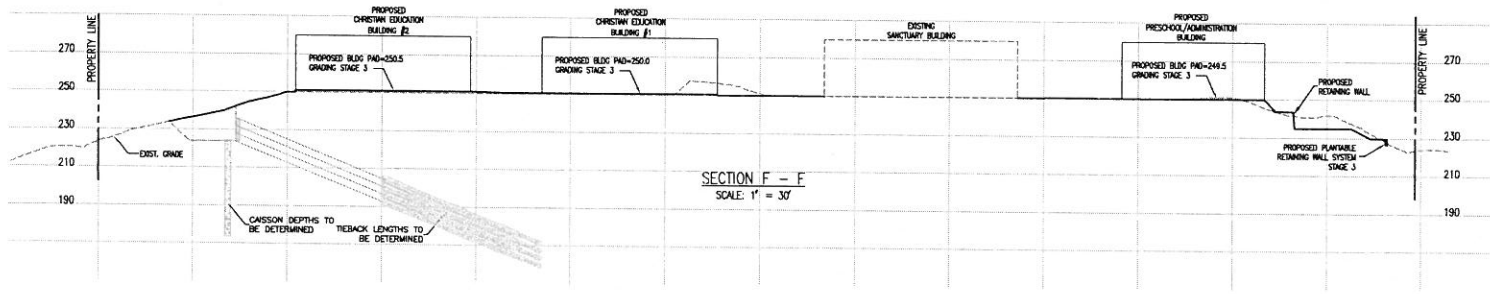
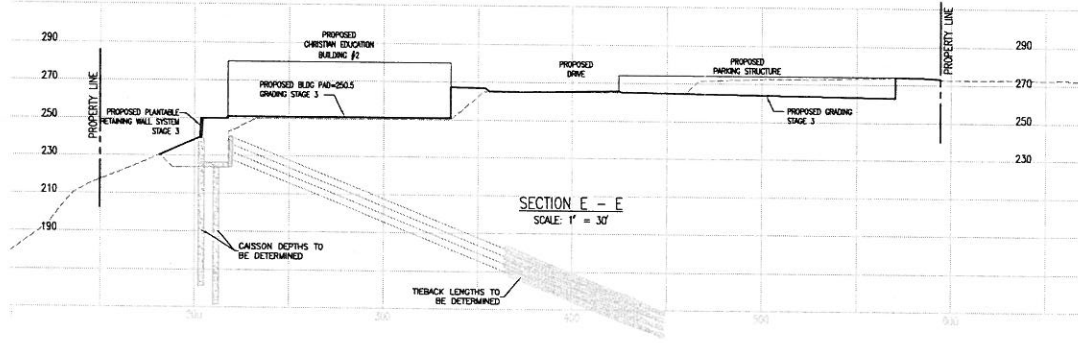
DRWN/CHK'D
NS

DATE	ISSUE
APR. 06.08	CFP Submittal 1
OCT. 7.07	CFP Submittal 2
MAY. 03.08	CFP Re-sub
FEB. 07.12	-
AUG. 16.12	-
NOV. 01.12	CFP Submittal 3

SHT. TITLE
 CORRECTIVE
 GRADING EXHIBIT
 STAGE 3
 ROUGH GRADE SECTIONS

SHEET NO.

C-2.4



ADAMS & STREETER
 PROFESSIONAL ENGINEERS
 1500 S. GARDEN ST., SUITE 200
 ANAHEIM, CA 92805
 (714) 771-1111
 LICENSE NO. 44234
 CIVIL ENGINEER



ARCH/ENG STAMP

Conditional Use Permit Submittal for:
South Shores Church
 32712 Crown Valley Parkway
 Dana Point, California 92629

JOB NO.	
21235	
DRWN/CHK'D	
NS	
DATE	ISSUE
APRIL 06 06	CLP Submittal 1
OCT 07 07	CLP Submittal 2
MAY 01 08	CLP Revision
FEB 07 12	-
AUG 06 12	-
NOV 01 12	CLP Submittal 3

SHT. TITLE
 CORRECTIVE
 GRADING EXHIBIT
 STAGE 3
 ROUGH GRADE SECTIONS

SHEET NO.

C-2.5